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Owner:



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ROSEVILLE, CA 95678
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Project:

Pacific Gateway
VFW Building

San Joaquin County, CA

Consultants:

Civil: Kier&Wright
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: GREEN DESIGN
Fire Protection:
Soils Engineer:

Title: OVERALL SITE PLAN

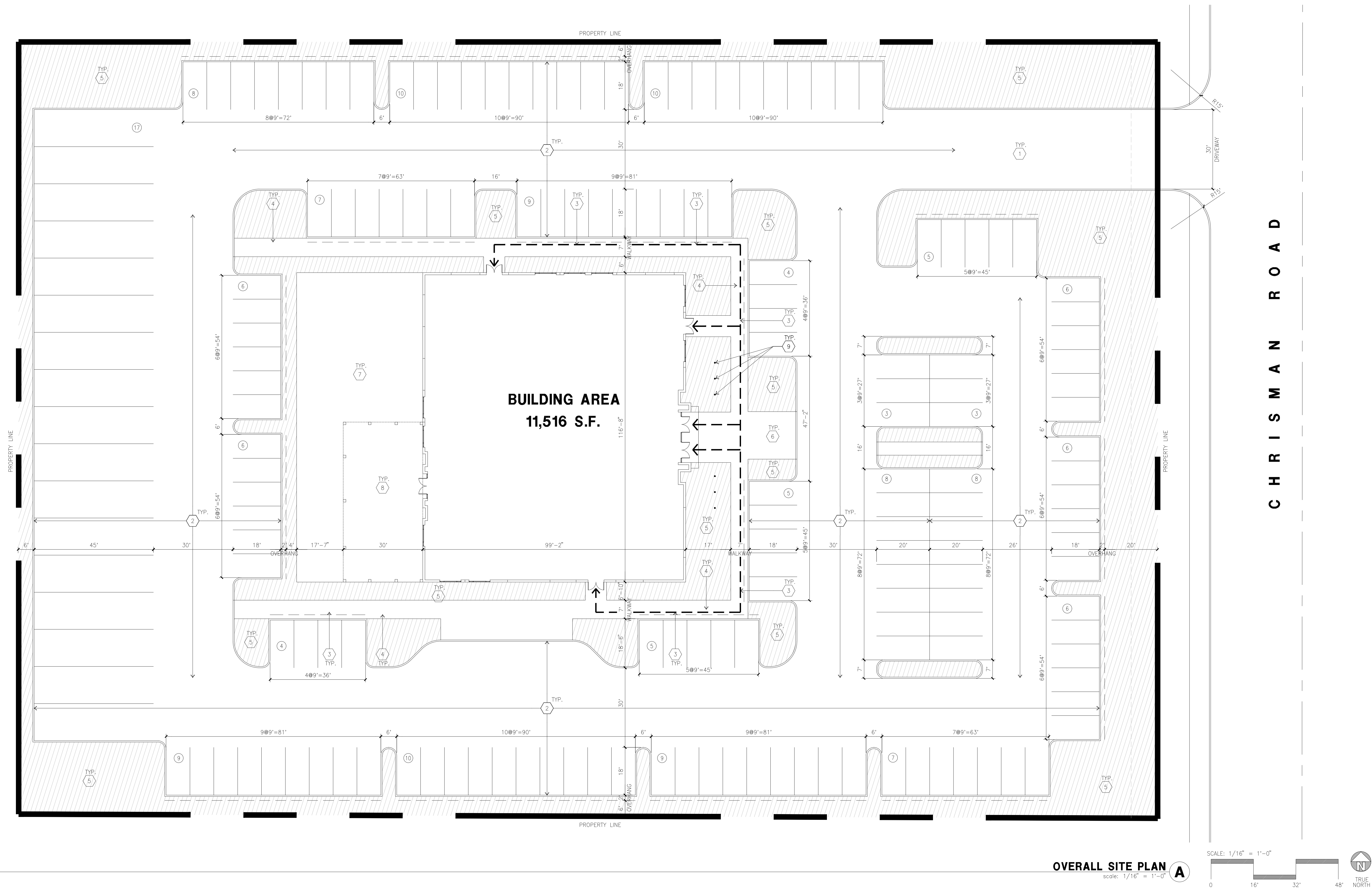
Project Number: 21346
Drawn by: TSP
Date: 05/05/2023

Revision:

Sheet:

DAB-A1.1

CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT



SITE PLAN KEYNOTES

- 1 DRIVEWAY ENTRY PAVING
- 2 ASPHALT CONCRETE (AC) PAVING
- 3 ACCESSIBLE PATH OF TRAVEL
- 4 CONCRETE WALKWAY, MEDIUM BROOM FINISH. SEE "L" DRAWINGS.
- 5 LANDSCAPE: ALL LANDSCAPE AREAS INDICATED BY SHADING
- 6 HARDSCAPE AT ENTRANCE.
- 7 OUTDOOR SECURED PATIO
- 8 COVERED CANOPY
- 9 FLAG POLE

SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY GEOTECHNICAL ENGINEER, DATE, PROJECT NUMBER #
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
5. PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4" FINISH TO BE A MEDIUM BROOM FINISH
11. U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING
14. ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
16. ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE

SITE PLAN GENERAL NOTES

- CONCRETE PAVING, SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL (9' X 20')
- RV PARKING (14' X 45')
- LANDSCAPED AREA
- NON-ACCESSIBLE PATH
- PATH OF TRAVEL, MINIMUM WIDTH TO BE 4'. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%. SEE CIVIL FOR GRADING PLAN

SITE PLAN KEYNOTES

SITE AREA	
In s.f.	126,056 sf
In acres	2.89 ac
BUILDING AREA	
Office / Admin / Support	5,672 sf
Community Assembly	5,844 sf
TOTAL	11,516 sf
SITE COVERAGE	
Maximum Allowed	60%
Actual	9.1%
AUTO PARKING REQUIRED	
Office / Admin / Support: 4/1,000 sf	23 stalls
Community Assembly: 0.67/1,000 sf	4 stalls
TOTAL	27 stalls
AUTO PARKING PROVIDED	
Standard (9' x 20')	154 stalls
RV Parking (14' x 45')	17 stalls
ZONING ORDINANCE	
Zoning - Specific Plan - Commercial	
MAXIMUM BUILDING HEIGHT ALLOWED	
Height - 100'	
SETBACKS	
Front - 20'	
Street Side - 20'	
Side - None	
Rear - None	



RIDGELINE
PROPERTY GROUP

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Title: OVERALL FLOOR PLAN

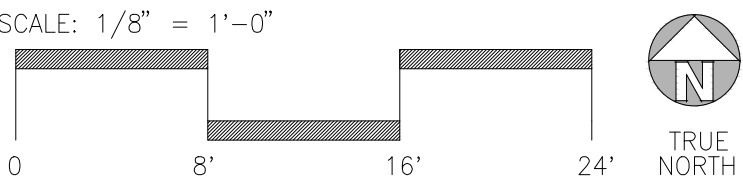
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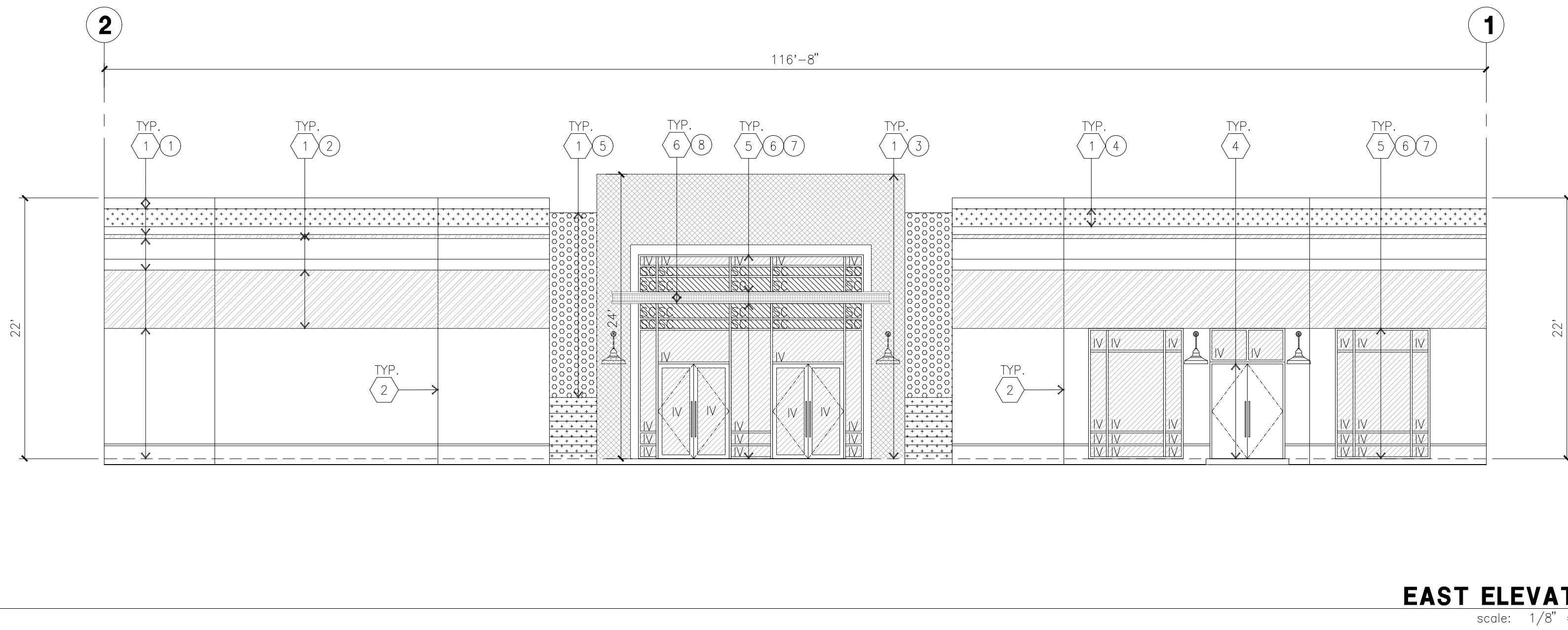
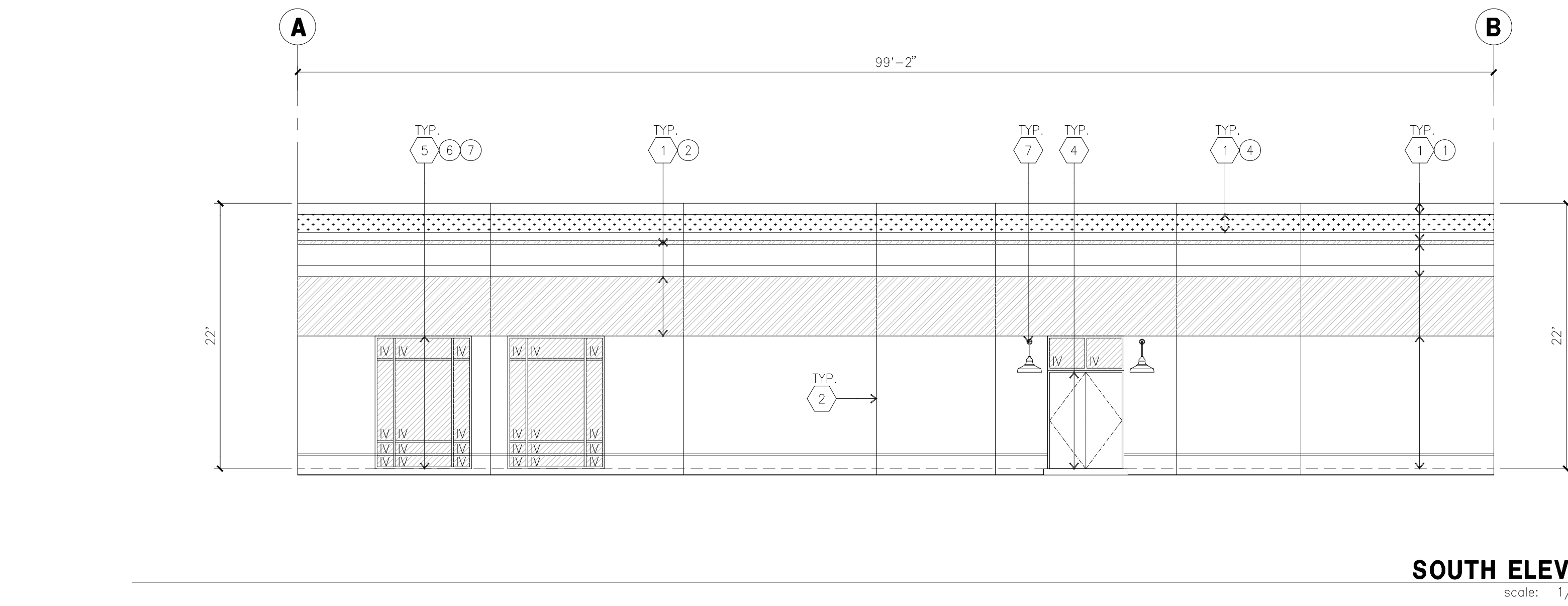
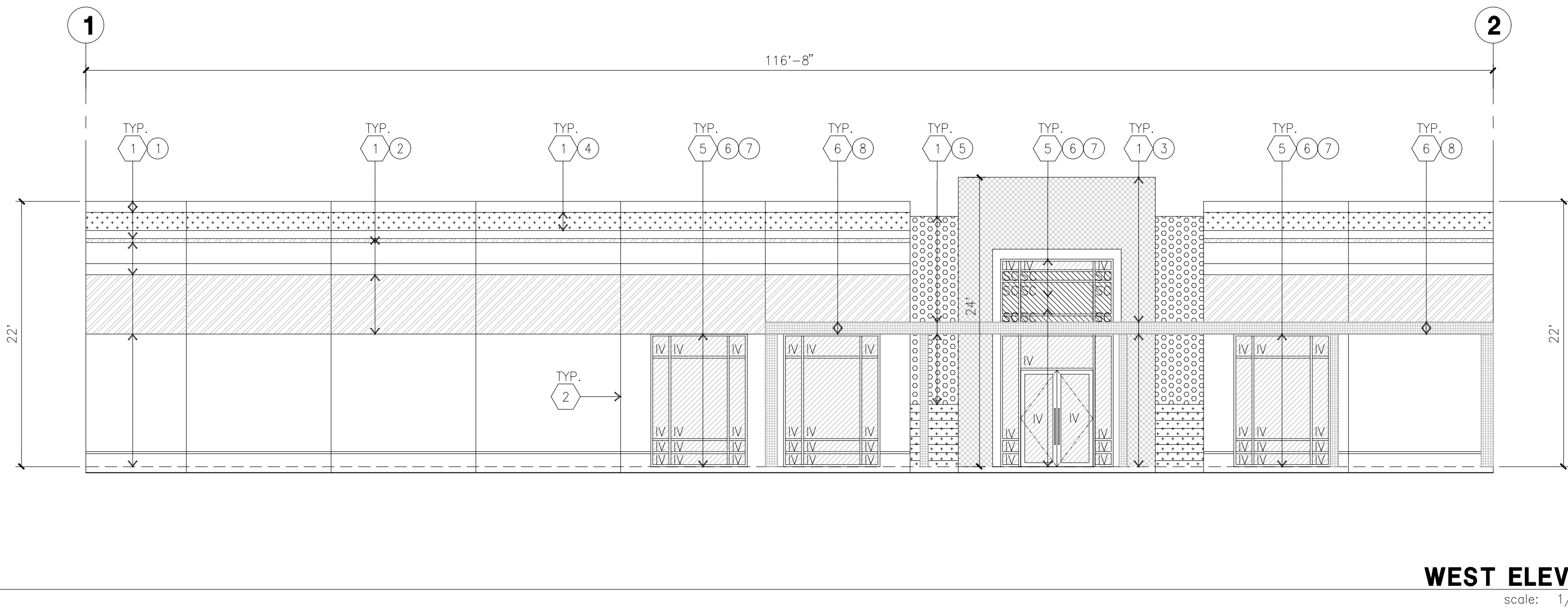
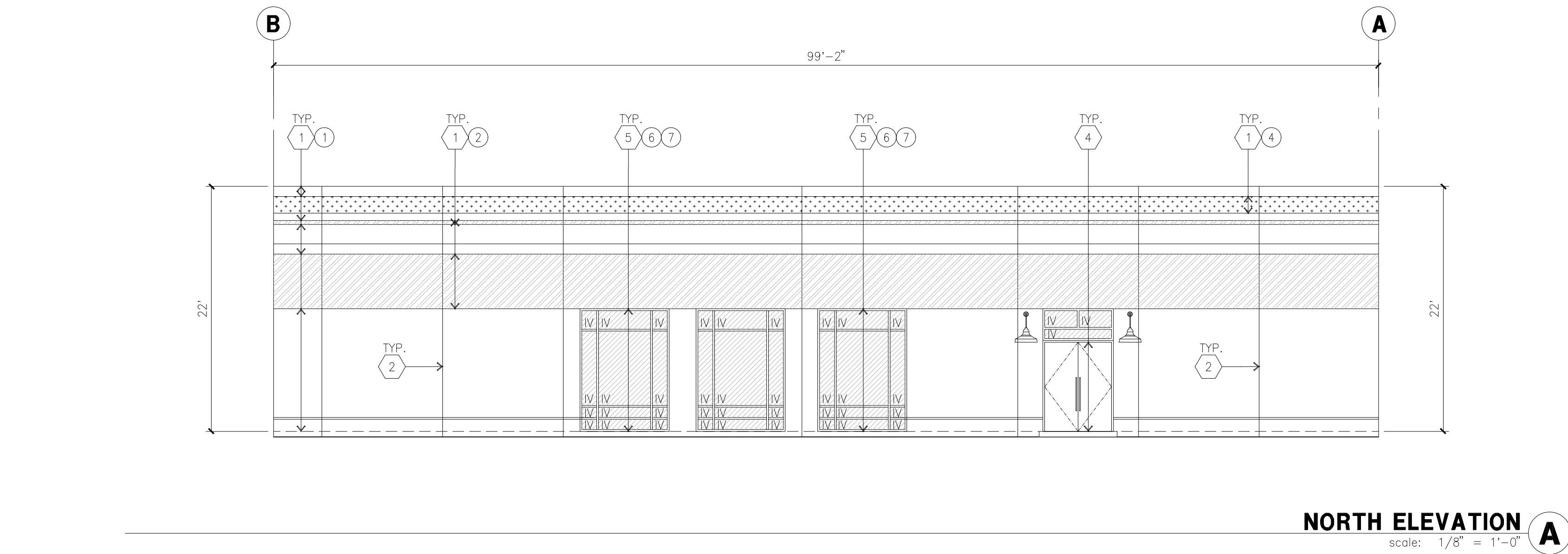


SCALE: $1/8" = 1'-0"$



- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 5 OPEN METAL CANOPY ABOVE

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- KEYNOTES - ELEVATIONS**
- 1 CONCRETE TILT-UP PANEL(PAINTED). FINISH GRADE VARIES. SEE "E" DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
 - 2 PANEL JOINT.
 - 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
 - 4 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
 - 5 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
 - 6 METAL TUBE STEEL CANOPY
 - 7 WALL MOUNTED LIGHTING FIXTURES. SEE "E" DRAWINGS.

- GENERAL NOTES - ELEVATIONS**
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
 - B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
 - C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
 - D. F.F. = FINISH FLOOR ELEVATION.
 - E. STOREFRONT CONSTRUCTION GLASS, METAL ATTACHMENTS AND LITELS SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEED. EXPOSURE C. WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
 - F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
 - G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
 - H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
 - J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
 - K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
 - L. EXTERIOR STAIRS AND RAMPS TO MATCH BUILDING COLOR.
 - M. RAILINGS TO MATCH BUILDING COLOR.
 - N. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

- ELEVATION COLOR LEGEND/SCHED.**
- 1 CONCRETE TILT-UP PANEL. COLOR : SW 7005 PURE WHITE
 - 2 CONCRETE TILT-UP PANEL. COLOR : SW 7071 GRAY SCREEN
 - 3 CONCRETE TILT-UP PANEL. COLOR : SW 7072 ONLINE
 - 4 CONCRETE TILT-UP PANEL. COLOR : SW 7073 NETWORK GRAY
 - 5 CONCRETE TILT-UP PANEL. COLOR : SW 7074 SOFTWARE
 - 6 GLAZING COLOR : BLUE GLAZING
 - 7 MULLIONS COLOR : CLEAR ANODIZED ALUMINUM
 - 8 DOOR COLORS : MATCH BUILDING COLOR
 - 9 CANOPY MATERIAL : METAL CANOPY WITH P1

- GLAZING LEGEND**
- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV INSULATED VISION GLASS
 - SC SPANDREL GLASS WITH CONCRETE BEHIND
 - V SINGLE LITE VISION GLASS
- IV : INSULATED VISION GLASS
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SHGC: 0.21 VLT: 26%
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
- SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOL PACIFICA WITH OPACI-COAT-300 WARM GRAY
INSTALLED ON CONCRETE.
- V : VISION GLASS
1/4" VISTACOL PACIFICA
- MULLIONS : ANODIZED CLEAR.

HPA
architecture

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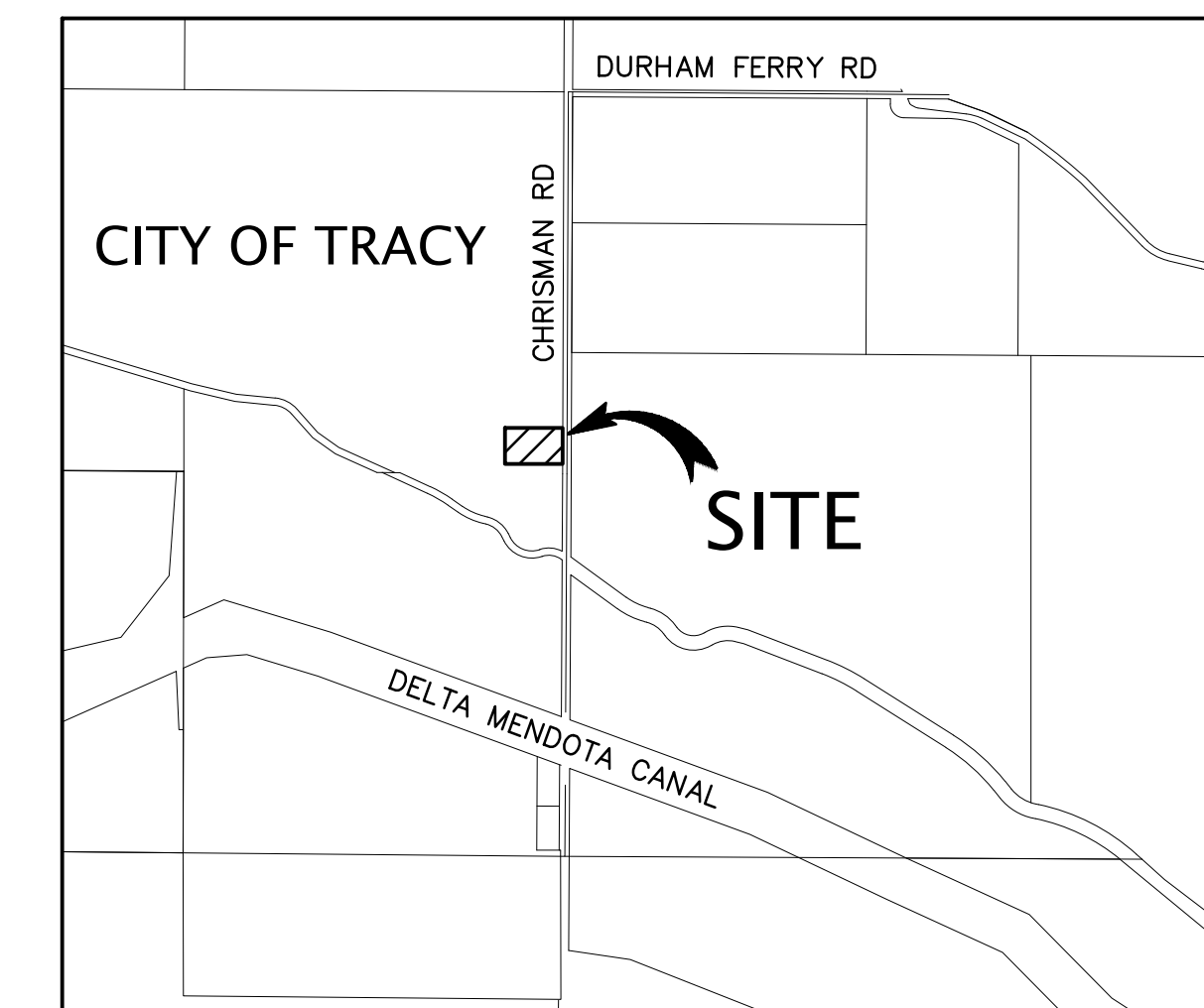
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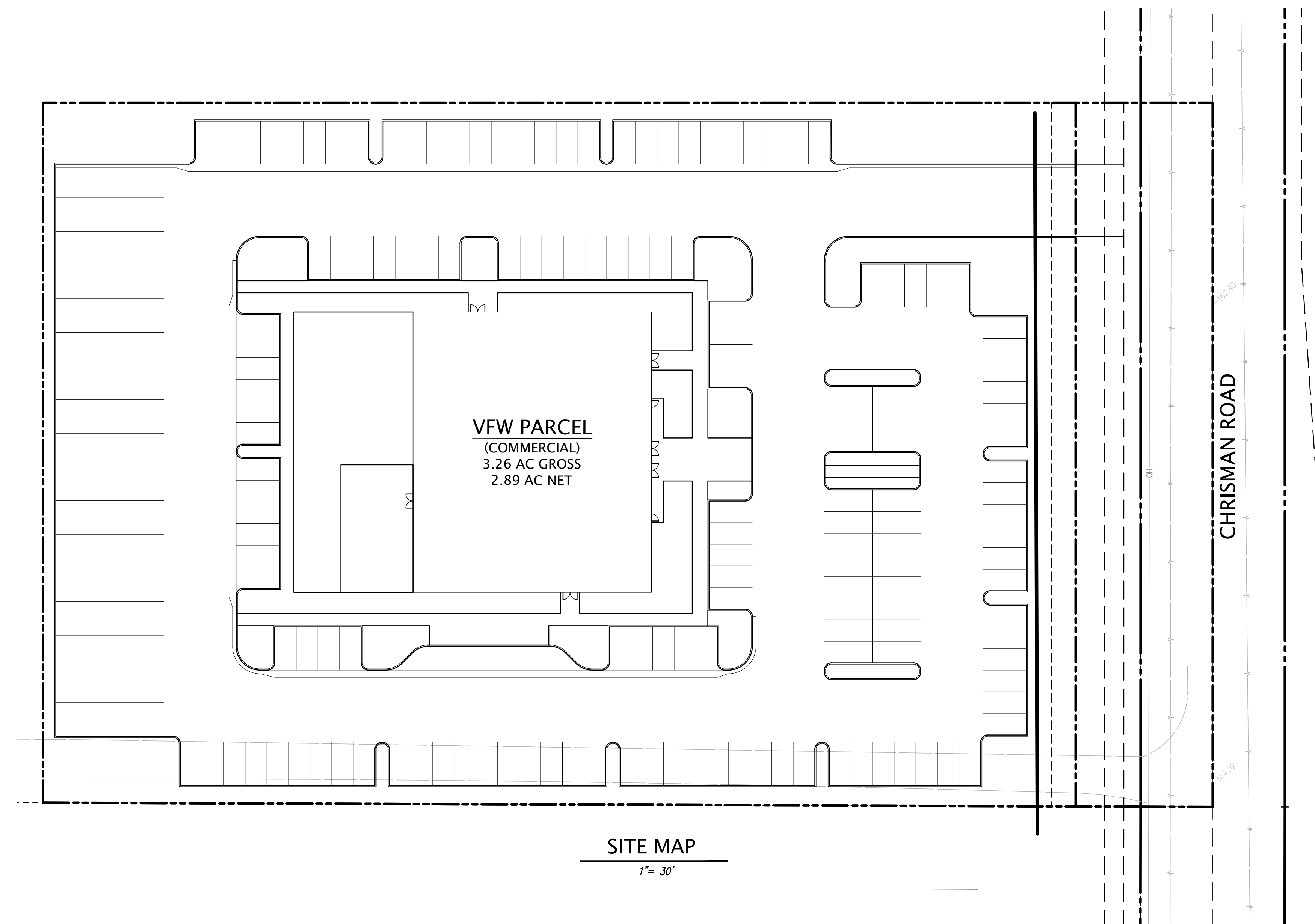
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FOR
RIDGELINE PROPERTY GROUP
TRACY, CALIFORNIA



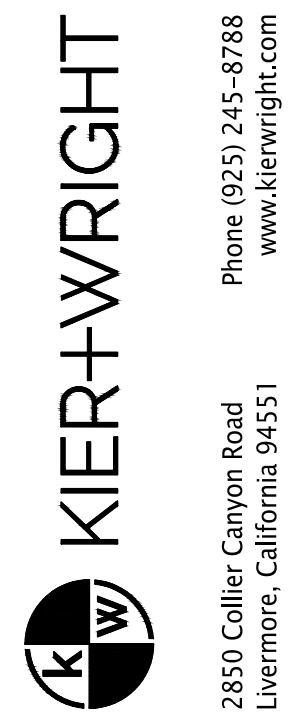
VICINITY MAP

NOT TO SCALE



SHEET INDEX

<u>SHEET</u>	<u>DESCRIPTION</u>
<u>CIVIL</u>	
C1.0	COVER SHEET
C2.0	TYPICAL SECTIONS
C3.0	TOPOGRAPHIC SURVEY
C4.0	PRELIMINARY GRADING & DRAINAGE PLAN
C5.0	PRELIMINARY UTILITY PLAN



CALIFORNIA

COVER SHEET
VETERANS CENTER
PACIFIC GATEWAY LOGISTICS CENTER

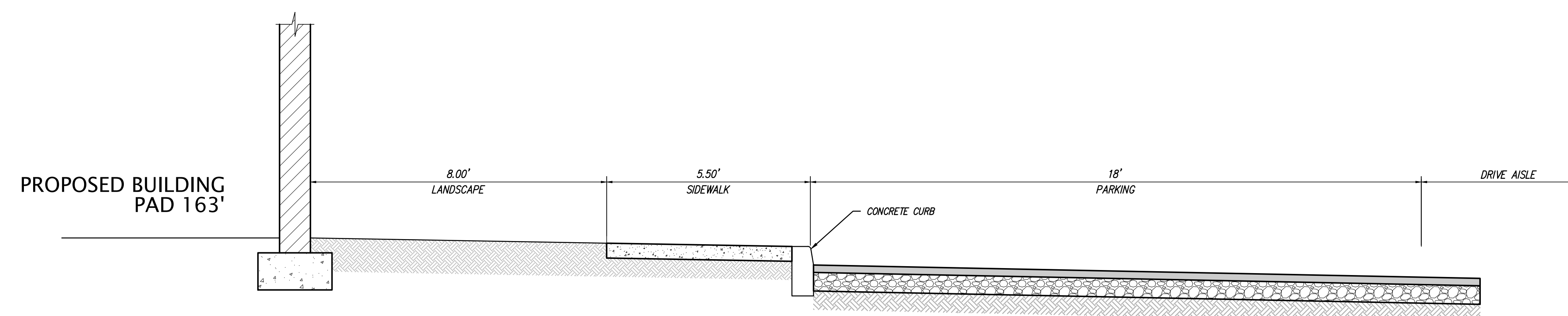
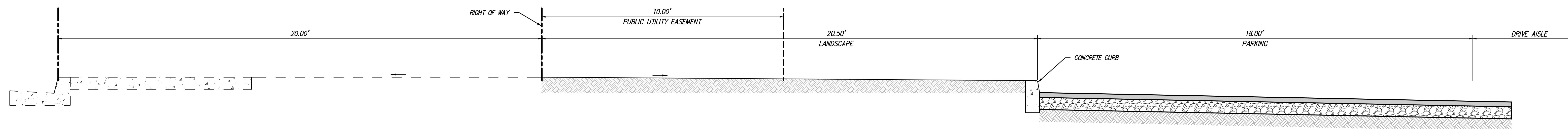
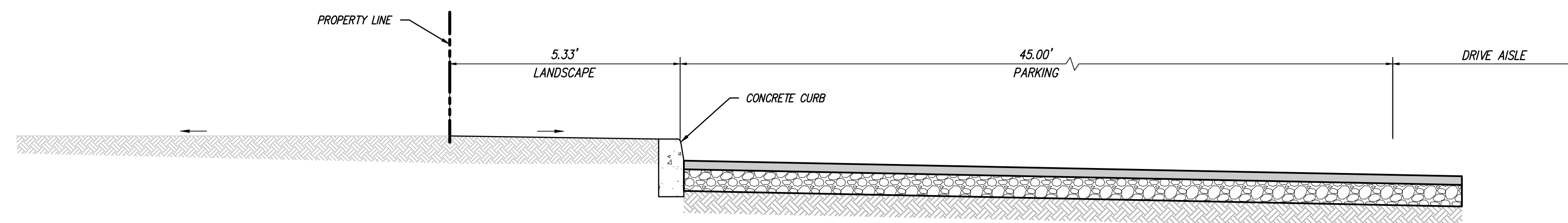
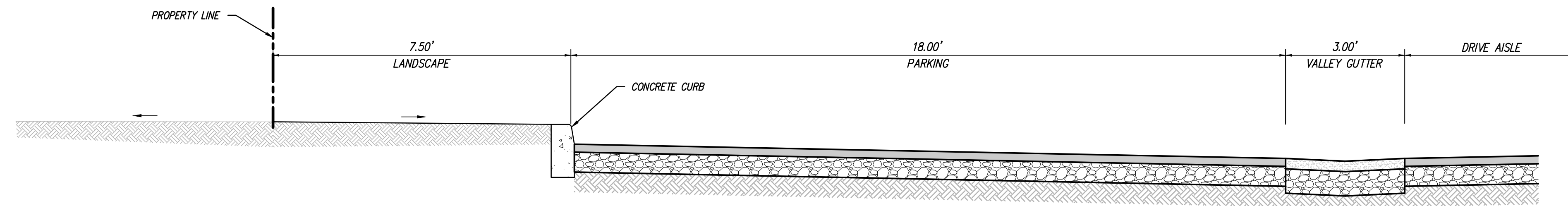
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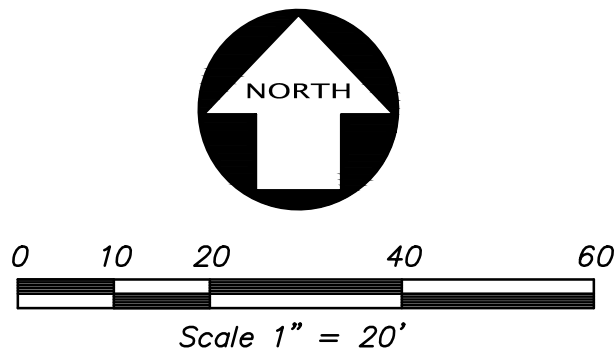
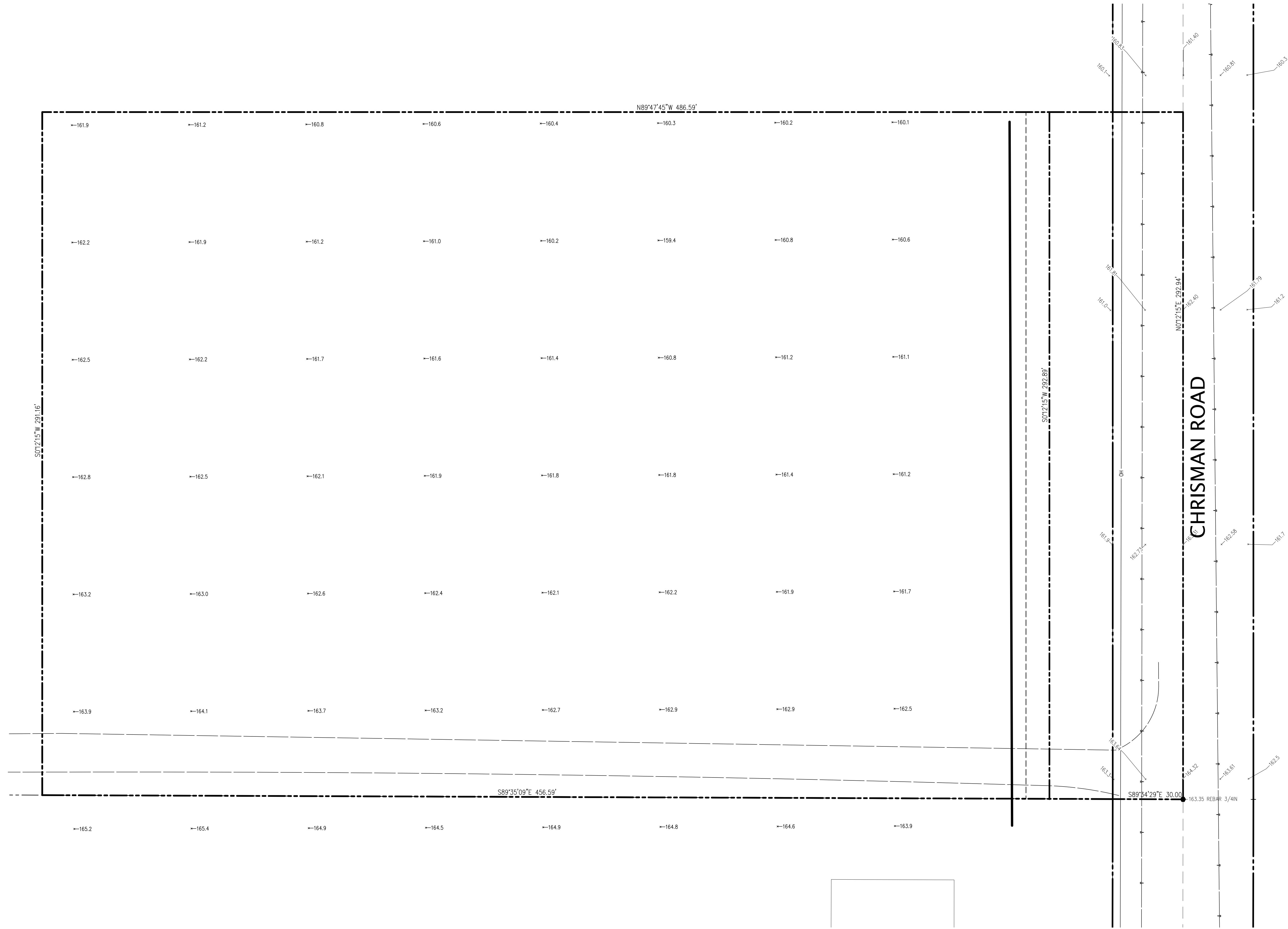
SHEET C1.0
OF 5 SHEETS



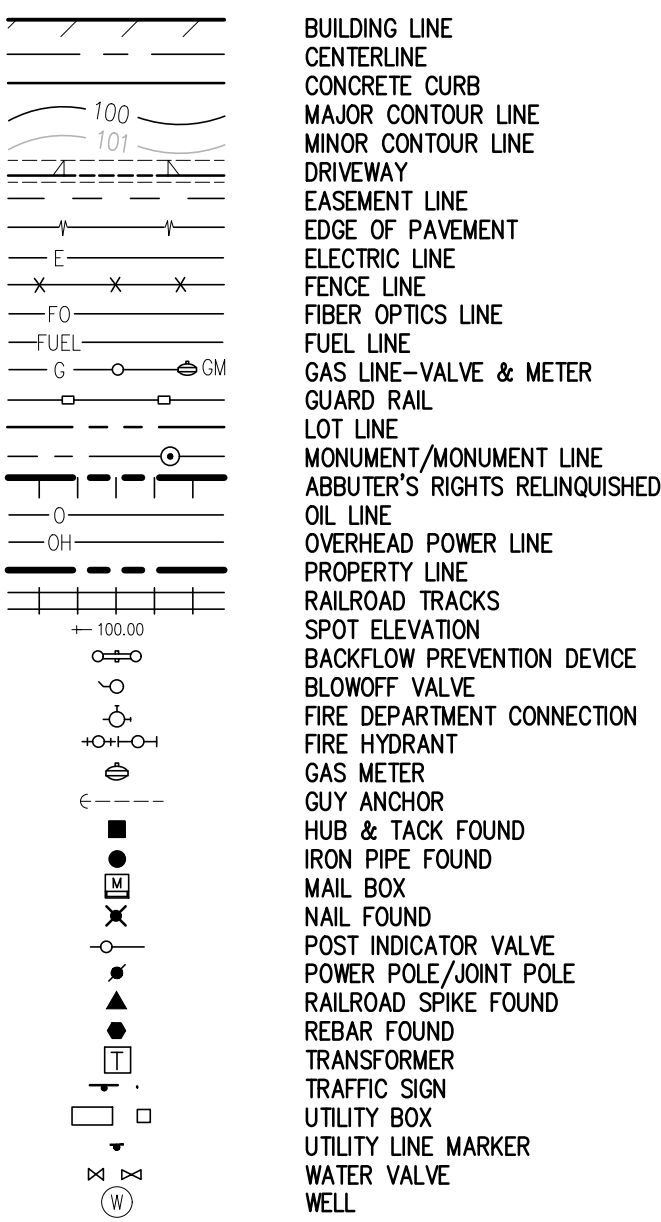
Know what's below.
Call before you dig.

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LEGEND



ABBREVIATIONS

BC	BACK OF CURB	JT	JOINT TRENCH
BEG	BEGIN	LIP	LIP OF GUTTER
BFP	BACK FLOW PREVENTER	LP	LOW POINT
BL	BUILDING LINE	MGR	METAL GUARD RAIL
BLRD	BOLLARD	MON	MONUMENT
BRC	BACK OF ROLLED CURB	N	NORTH
BS	BOTTOM OF STAIR	NW	NORTH WEST
BTM	BOTTOM	O.R.	OFFICIAL RECORD
BW	BACK OF WALK	P-FC	PANCHMENT AT FACE OF CURB
BX	BOX	PAE	PRIVATE ACCESS EASEMENT
C-FC	CONCRETE AT FACE OF CURB	PG&E	PACIFIC GAS & ELECTRIC
CB	CATCH BASIN	PM	PARCEL MAP
CL	CENTER LINE	POC	POINT OF CONNECTION
DDCV	DOUBLE DETECTOR CHECK VALVE	PP	POWER POLE
DI	DRAIN INLET	PUE	PUBLIC UTILITY EASEMENT
E	EAST	RE	RIGHT ELEVATION
EB	ELECTRIC BOX	ROW	RIGHT OF WAY
EG	EDGE OF GRAVEL	S	SOUTH
EMH	ELECTRICAL MANHOLE	SD	STORM DRAIN
EP	EDGE OF PAVEMENT	SDCO	STORM DRAIN CLEAN OUT
ESMT	EASEMENT	SDMH	STORM DRAIN MANHOLE
EV	ELECTRICAL VAULT	SE	SOUTH EAST
EW	EDGE OF WALK	SL	STREET LIGHT
FC	FACE OF CURB	SLB	STREET LIGHT BOX
FD	FOUND	SMUD	SACRAMENTO MUNICIPAL UTILITY DISTRICT
FDC	FIRE DEPARTMENT CONNECTION	SSCO	SANITARY SEWER CLEAN OUT
FF	FINISH FLOOR	SSMH	SANITARY SEWER MANHOLE
FI	FIRE HYDRANT	TB	TELEPHONE BOX
FL	FLOW LINE	TC	TOP OF CURB
FW	FACE OF WALL	TS	TOP OF STAIR
GA	GUY ANCHOR	TW	TOP OF WALL
GB	GRADE BREAK	UB	UNKNOWN UTILITY BOX
GM	GAS MARKER/METER	VC	VALLEY GUTTER
HSBB	HOSE BIB	W	WEST
IE	INVERT ELEVATION	WB	WATER BOX
		WM	WATER METER
		WV	WATER VALVE

TOPOGRAPHIC SURVEY
VETERANS CENTER
PACIFIC GATEWAY LOGISTICS CENTER

TRACY, CALIFORNIA

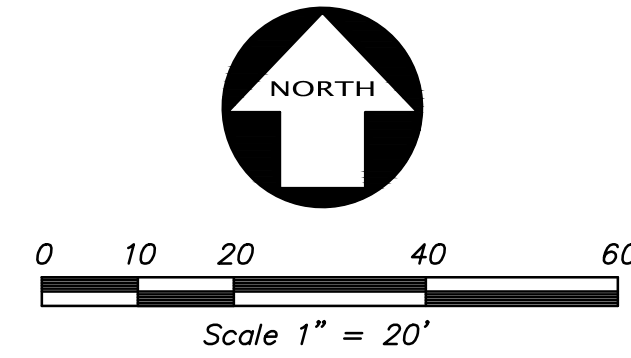
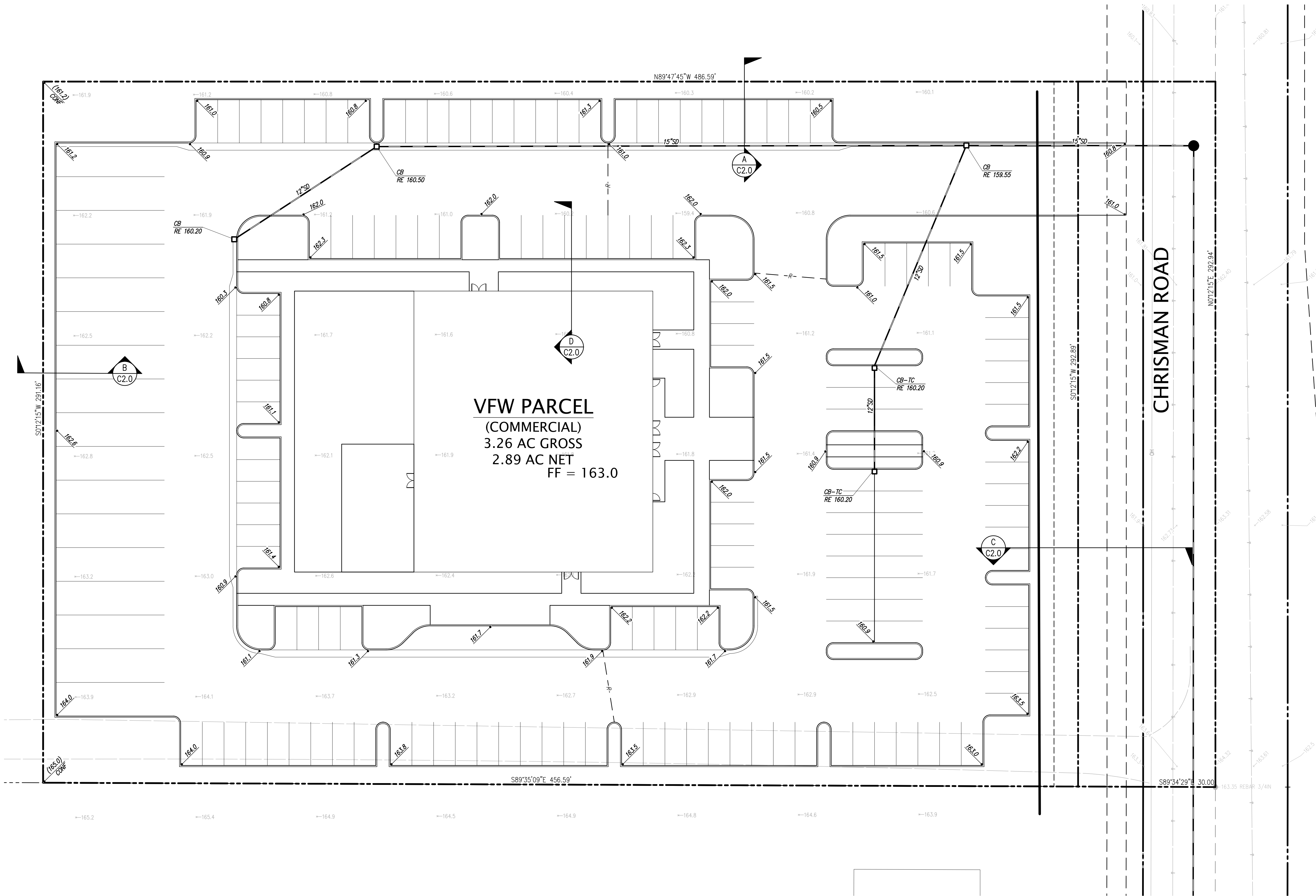
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JOB NO.	A21619-7
SHEET	C3.0
OF	5 SHEETS

BY					
REVISION					
NO	Δ	Δ	Δ	Δ	Δ
BY					
REVISION					
NO	Δ	Δ	Δ	Δ	Δ



KIER+WRIGHT
2850 Collier Canyon Road
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Phone (925) 245-8788
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LEGEND

▲	AREA DRAIN
▣	STORM DRAIN CATCH BASIN
●	STORM DRAIN JUNCTION BOX
○	STORM DRAIN MANHOLE
FL	FLOW LINE
FF	FINISH FLOOR
PV	PAVEMENT
RE	RIM ELEVATION
23.8	SPOT ELEVATION
X-SD	STORM DRAIN LINE
TC	TOP OF CURB

DATE	APRIL, 2022
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OF	5 SHEETS

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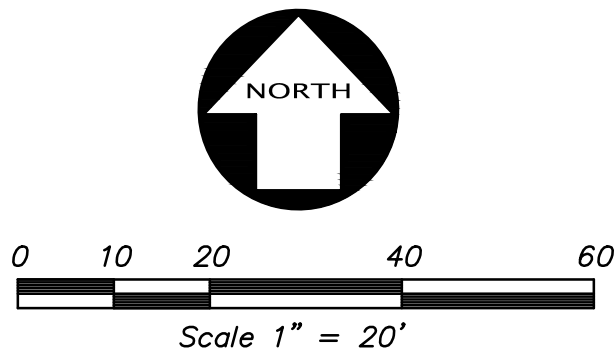
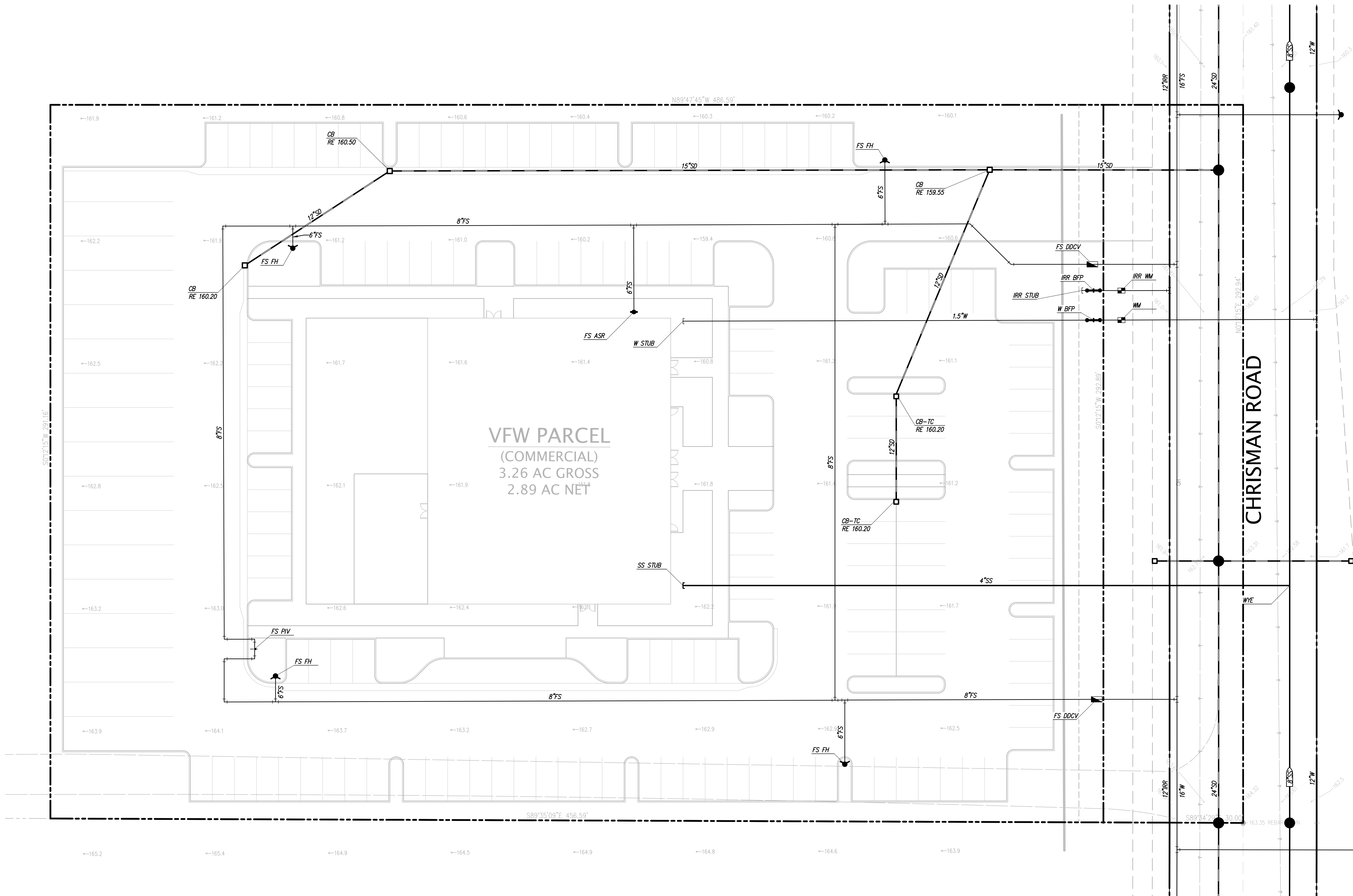
REGISTERED PROFESSIONAL ENGINEER
CHARLES R. NEWKIRK
No. 53447
CIVIL
STATE OF CALIFORNIA

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PRELIMINARY GRADING & DRAINAGE PLAN
VETERANS CENTER
PACIFIC GATEWAY LOGISTICS CENTER

TRACY, CALIFORNIA

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LEGEND

- | | |
|----------------|---|
| ASR | AUTOMATIC SPRINKLER RISER |
| RE | RIM ELEVATION |
| TC | TOP OF CURB |
| WS | WATER SERVICE |
| --- | EXISTING UTILITY TO BE ABANDONED BY REMOVAL |
| FS | FIRE SERVICE |
| SS | SANITARY SEWER |
| COTO | CLEANOUT TO GRADE |
| X"SD | STORM DRAIN LINE |
| ▲ | AREA DRAIN |
| □ | STORM DRAIN CATCH BASIN |
| ■ | STORM DRAIN JUNCTION BOX |
| ● | STORM DRAIN MANHOLE |
| + | BACK FLOW PREVENTION DEVICE |
| + | FIRE DEPARTMENT CONNECTION |
| + | FIRE HYDRANT & VALVE |
| + | POST INDICATOR VALVE |
| SSMH | SANITARY SEWER MANHOLE |
| + | SINGLE CHECK VALVE |
| SDMH | STORM DRAIN MANHOLE |
| ■ | WATER METER |

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PRELIMINARY UTILITY PLAN	CALIFORNIA
VETERANS CENTER	
PACIFIC GATEWAY LOGISTICS CENTER	
TRACY,	

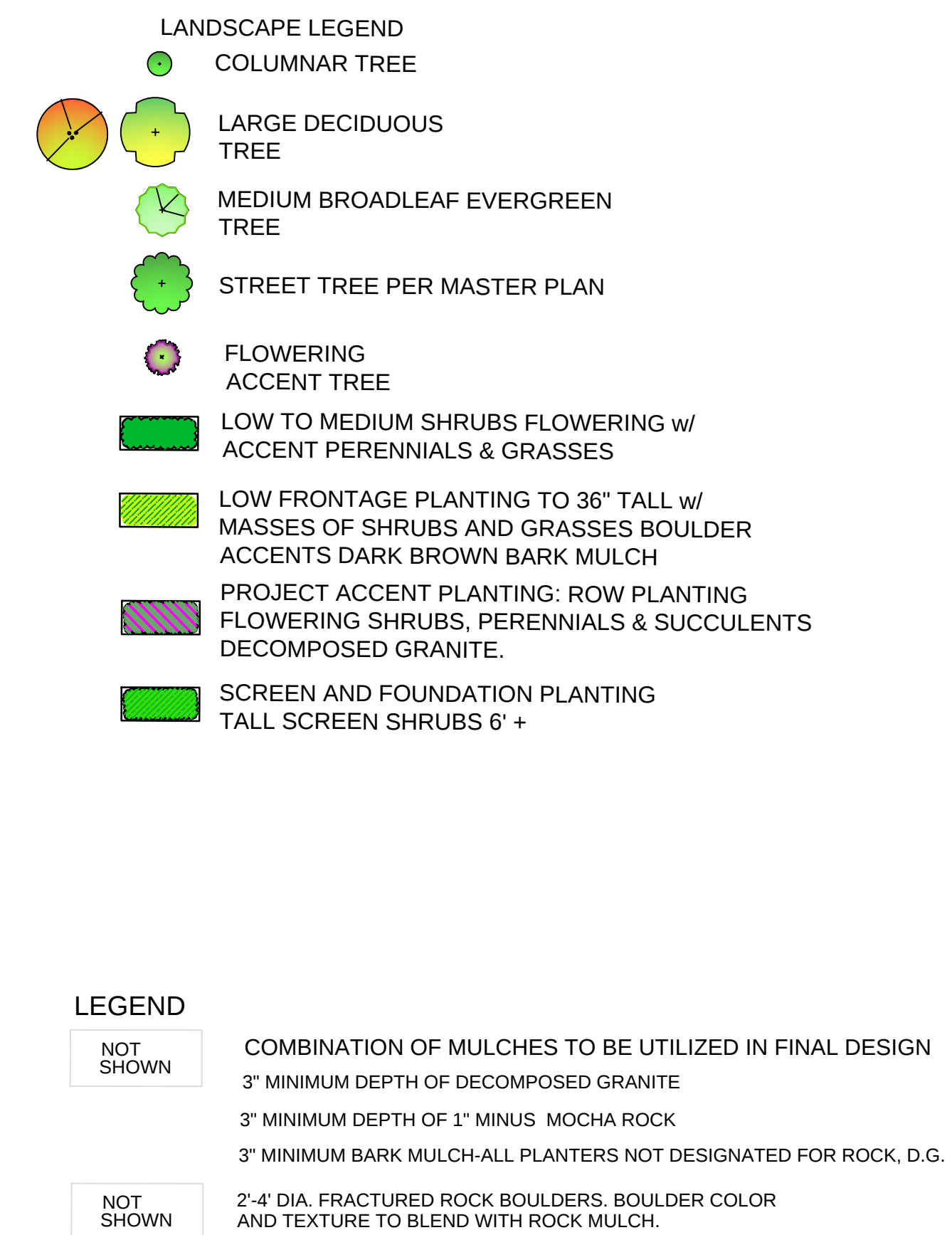
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REVISION	NO	NO	NO	NO

BY	NO	NO	NO	NO
REVISION	NO	NO	NO	NO

REGISTERED PROFESSIONAL
ENGINEER
No. 53447
CIVIL
STATE OF CALIFORNIA

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AUTOMATIC CONTROLLER W/ ET DATA, REPEAT CYCLING
IRRIGATION ZONES PER PLANT WATER REQUIREMENTS
RAIN SENSOR TO BE SPECIFIED
SOIL AMENDMENTS TO BE INCORPORATED
PLANTER SURFACE AREAS TO BE MULCHED
WATER USAGE TO MEET STATE WATER EFFICIENT LANDSCAPE STANDARD

TOTAL SITE AREA: 2.89 AC
TOTAL PARKING AREA = 71,302 S.F.
PARKING AREA INCLUDES THE FOLLOWING:

1. PAVEMENT INCLUDING LANDINGS, STALLS, AISLES AND ACCESS DRIVES
2. ADJACENT BUILDING FRONTAGE LANDSCAPE AREA INC. WALKS

PARKING AREA LANDSCAPE REQUIRED = 3,565 S.F. (5% OF PARKING AREA)
PARKING AREA LANDSCAPE PROVIDED = 14,107 S.F.
NO. OF STANDARD PARKING SPACES = 154
TREES REQUIRED = 31 (1/5 SPACES)
TREES PROVIDED = 32
MINIMUM STREETScape LANDSCAPE REQUIRED: 10' MIN. (PROVIDED)

PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 20'

