Plan 2
500 Square Feet
Accessory Dwelling Unit

Plans and Construction Documents

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PERVIOUS ITEM	DIMENSIONS	AREA (sf)	NOTES		SITE	IMPERVIO	US ITEM	DIMENSIONS	NEW OR REPLACED AREA	EXISTING	
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ENGINEERING SCAL

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		IMPERVIOUS SURFACE AREA TABLE								
	SIT		IMPERVIOUS ITEM	DIMENSIONS	NEW OR REPLACED AREA (sf)	EXISTING AREA (sf)				
	1		ADU + OVERHANGS	PER PLAN						
	2		SFD							
	3		DRIVEWAY							
	4									

Sheet Number

San Joaquin County, Planning & Development Services 500 SF ACCESSORY DWELLING UNIT BUILDING DIVISION

# **PLACE SITE PLAN IN BOX**

VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT SCOPE	PERVIOUS AREA INFORMATION			
	NAME:	NAME:	APN:	PROPOSED 500 SF DETACHED ACCESSORY DWELLING UNIT	PERVIOUS SURFACE AREA TABLE		TABLE	
	ADDRESS:	ADDRESS:	SITE ADDRESS:		SITE PERVIOUS ITEM	DIMENSIONS	AREA (sf)	NOTES
			PROPERTY CONNECTED TO THE ELECTRICAL GRID ( Y or N)					
	PHONE:	PHONE:	PROPERTY SERVICED BY PROPANE ( Y or N ) IF YES, SHOW TANK ON PLOT PLAN					
	EMAIL:	EMAIL:	PROPERTY SERVICED BY NATURAL GAS ( Y or N )  ENTIRE LOT IS FUEL MODIFIED (Y or N ) IF NO, DIMENSION 100' FUEL MODIFICATION ZONE		PERVIOUS ELEMENT MANU PERVIOUS ELEMENT SLOP MAINTENANCE PROGRAM: PERVIOUS ELEMENT CROS	E AND DIRECTION		
					CONSTRUCTED PERVIOUS	SURFACES SHALL	NOT BE SEALI	ED

LAND DISTURBANCE:

### Ground fault circuit interrupter (GFCI): GFCI protected receptacles or GFCI branch circuits shall be provided for all receptacles within 6 feet of any water source: at all bathrooms, in the garage, exterior spaces, equipment room, in the crawlspace, and at all non-dedicated outlets at kitchen and laundry room. (Per CEC 210-8 (A.). Provide GFCI receptacle outlets within 2 feet from edge of kitchen sink, appliances and edge of countertops as well as no more than 48 inches on center CEC 210.52.

All 120V, single phase, 15 and 20 amp branch circuits supplying outlets and devices installed in dwelling unit kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas or similar rooms shall be protected by a listed arc-fault circuit interrupter, combination type, or a listed outlet branch-circuit type AFCI located at the first receptacle outlet of the existing branch circuit installed to provide protection of the branch circuit.

Receptacles in kitchens shall be placed no more than 20 inches above the counter top nor more than 12

- Metal water piping and other interior metal piping shall be bonded to service equipment. The points of attachment to the bonding jumper shall be accessible.
- Provide at least one 20 amp circuit without other outlets on the circuit, for bathroom receptacles
- Outlet spacing shall not exceed 12'-0' OC per CEC. All outlet plates to be bright white UON. Receptacles shall be placed such that no point along the floor line in any wall space is more than 6 feet and at all 2 foot lengths of wall. (CEC 210-52(A). Install outlets horizontal in baseboards. Center outlets on wall UON for bathrooms/kitchen, see interior elevations.
- Provide at least two separate 20 amp circuits for small appliances in kitchen, dining, and similar areas with no other outlets on the circuit per CEC 210.11(C) and 210.52(B).
- Provide separate 120-volt circuit to laundry. CEC 210.11(C)(2) and provide 30 amp branch circuits to the laundry room per CEC 220.54.
- A permanent GFI protected electrical outlet and a lighting fixture controlled by a switch located at the passageway opening shall be provided near the water heater per CMC909.5.
- Install UFER ground in new foundation per CEC 250.52 (A)(3)
- All exterior and garage outlets to have waterproof plate covers
- All 15 and 20 amp receptacles installed in a wet location shall have an enclosure that is weatherproof whether or not an attachment plug cap is inserted.
- **12.** All 125-volt receptacles in any dwelling unit shall be tamper-resistant. CEC 406.11.

### **MECHANICAL NOTES**

- Verify all equipment sizes before beginning work. Install all equipment and materials per manufacturer's instructions and recommendations.
- Mechanical equipment shall be fixed in position and securely fastened in place per CMC 304.4. 3"x3"x1/4" stl. angle welded to furnace frame and lagged down to framing with 5/8" diameter lag bolts on four sides, typical,
- Verify gas, electrical, water stub-outs at all air handlers, furnaces, air conditioners and all appliances of similar equipment with manufacturer's recommendations and owner's requirements.
- Install all thermostats at 64" AFF from centerline of plate to finish floor. All thermostats to be bright white finish field verify locations with owner
- Any appliances in a garage or compartment accessed from garage which generate a spark, glow, or flame shall be elevated a minimum of 18" above the floor to point of ignition unless listed as Flammable vapor ignition resistant. (Per CMC 308.1 and CMC 508.14)
- Provide clothes dryer vent to outside with a maximum length of 14 feet equipped with a backdraft damper including two 90 degree elbows and a minimum diameter of 4" (Per CMC 504.3.2.2)
- Bathroom fans shall be connected directly to the outside. Fans and other exhaust systems exhausting air from conditioned space to the outside shall be provided with backdraft dampers to prevent air
- Ventilation openings for enclosed attics, enclosed eave soffit spaces, enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters, and underfloor ventilation openings shall be fully covered with metal wire mesh, vents, other materials, or other devices that meet one of the
  - Listed vents complying with ASTM E2886 with the following results:
  - (a) The Ember Intrusion Test shall have no flaming ignition of the cotton material.
  - (b) There shall be no flaming ignition during the Integrity Test portion of the Flame Intrusion Test. The maximum temperature of the unexposed side of the vent shall not exceed 662° F (350°C).
  - **2.** Vents complying with all of the following:
  - (a) The dimensions of the openings therein shall be a minimum of 1/16" and shall not exceed 1/8".
  - (b) The materials used shall be noncombustible. Exception: Vents located under the roof covering, along the ridge of roofs, with the exposed surface of the vent covered by noncombustible wire mesh, may be of combustible materials.
  - (c) The materials used shall be corrosion resistant. CRC R337.6.2.

## PLUMBING NOTES

**ELECTRICAL NOTES** 

- Plumbing system shall be design/build by plumbing subcontractor (including but limited to water distribution, drainage, and venting systems, and installation of plumbing fixtures and accessories).
- Drain systems within the building shall be hubless cast iron, including all fittings and traps. Vent systems may be schedule 40 ABS DWV pipe. Drain and vent piping shall be isolated from the building structure. All water supply piping shall be metal.
- Hot water distribution piping shall be insulated.
- Gas line schematic diagram and calculations and pipe size must be approved by the building official prior to requesting a rough plumbing inspection (per CPC 1209.)
- Gas shut-off must be located within 6 feet of appliance and must be accessible and shall not be located behind appliance. (Per CPC 1212.3)
- All plumbing fixtures and fittings shall be certified by the California energy commission. All shower heads, lavatory faucets and sink faucets shall be certified by the manufacturer as complying with applicable California appliance efficiency standards. All toilets shall use 1.28-gallon maximum per flush, typical. All faucets shall have flow control aerators that limit water delivery to no more than 1.5 gallons per minute for sinks and lavatories, and 2.0 gallons per minute for showers
- Site built showers CPC 408:
  - a. The base for wall tile in tub and shower areas and wall and ceiling panels in shower areas shall be cement, fiber-cement or glass mat gypsum backers in compliance with ASTM C 1178. C 1288. C 1325
  - Showers are to be provided with a water dam a minimum of 2" above high point of shower drain to retain water to drain. CPC x408.5.
  - Finish floor in shower to have minimum 1/4" and 1/2" pitch to drain per foot.
  - WP membrane to extend a minimum 3" above top of finish dam at back and sides CPC 408 7
- Shower control valves and showerheads shall be located so that the showerhead does not discharge directly at the entrance to the compartment and the bather can adjust the valve prior to stepping into the
- Water heaters shall be anchored or strapped to resist horizontal displacement due to earthquake motion Strappings shall be at points within the upper one-third and lower one-third of its vertical dimensions. At the lower point, a minimum distance of four inches shall be maintained above the controls with the strapping. (Per CPC 510.5)
- Install a watertight pan of corrosion-resistant materials beneath all water heaters with a minimum 3/4" drain, separate from relief valve drain to an approved location.
- Plumbing fixtures shall be in compliance with the most restrictive flow rate of; CGBSC table 4.303.1, CPC 402, or Green Point Rating. All sinks to have cleanouts and all faucets shall have air chambers. Install all hot water pipes with ½"
- pipe insulation. The maximum hot water temperature discharging from the bathtub filler shall be limited to 120 degrees F
- (Per CPC 414.5)
- Hand shower(s) shall be equipped with an approved backflow prevention device or assembly
- All toilets to have 15" minimum clearance from the centerline of fixture to each side. Provide 24" minimum clearance from the front edge of fixture. Per CPC 407.5. If any tub in this project is a spa tub, access to motor and all serviceable parts will be shown and
- conding will be detailed. (Per CPC 414) No domestic dishwashing machine shall be directed connected to a drainage system or food waste disposer without the use of an approved dishwasher air gap fitting on the discharge side of the dishwashing machine.(Per CPC 807.4)
- See plan for location of hose bibs (verify with owner and architect). Provide a listed non-removable backflow preventer or atmospheric vacuum breaker installed at least 6" above the highest point of usage shall protect those bibs. CPC 603.4.6 and 603.4.7.
- Install approved type of cleanout fitting between the building drain and the building sewer.
- Prior to close in, the contractor shall perform air pressure and water pressure tests to ensure there are no leaks in plumbing and drainage systems. The owner shall be informed when such testing will occur so (s)he can plan to visit the site.
- 22. Confirm that all plumbing fixtures will be able to drain to the public sewer by gravity.

### **FINISH NOTES**

- 1. All gypsum wallboard shall be installed in accordance with the provisions of the CBC, applicable edition, state and local codes.
- Provide moisture resistant gypsum board at walls adjacent to plumbing fixtures.
- Side walls, ceilings, and soffits of closet and any other usable space beneath interior stairs shall be protected with one layer type "x" gypsum board taped and finished.
- Gypsum wallboard shall not be installed until weather protection for the installation is provided. All edges and ends of gypsum wallboard shall occur on the framing members, except those edges and
- ends that are perpendicular to the framing members. All edges and ends of gypsum wallboard shall be in moderate contact except in concealed spaces where fire-resistive construction or diaphragm action is
- Cement-fiber or glass mat gypsum backer board shall be used as a base for wall tile in tub and shower area and wall and ceiling panels in shower areas. Shower area walls shall be finished with a non-absorbent surface to a height not less than 6 feet above the floor. (Per CRC R307)
- Tub and shower enclosure: stone or glazed wall tile extending to ceiling, typical. Think set wall tile on cement backer board. Provide thickset floor tile over 40 mil. shower pan membrane (Owner to select tile)
- Ceramic and stone floor tiles to be thickset mortar bed (owner to select tile).
- Exterior paint: two (2) coats vinyl acrylic paint over primer sealer recommended for painted surfaces. Brush-apply all paint. Assume two (2) paint colors, including trim color.
- Interior paint: Low V.O.C., two (2) coats paint over primer sealer recommended for each surface. Assume four (4) paint colors, including trim color.
- All interior wood / formaldehyde-free M.D.F. boards and trim to have final coat of paint applied with brush (verify with architect).
- Stucco finish shall be smooth and include three (3) coats of stucco over metal or wire fabric lath over two (2) layers of grade "D" paper.
- Flooring material to be selected 2by owner.
- All exterior wood trim, molding, and boards shall be back-primed.

these standard plans, the user agrees to release San Joaquin County from any i, liabilities, sults, and demands on account of any injury, damage, or loss to pers ty, including injury or death, or economic losses, arising out of the use of these ion documents. The use of these plans does not eliminate or reduce the user's sility to verify any and all information. By usir all claii or prop constru respon

Sheet Number

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SF ACCESSORY DWELLING UNIT

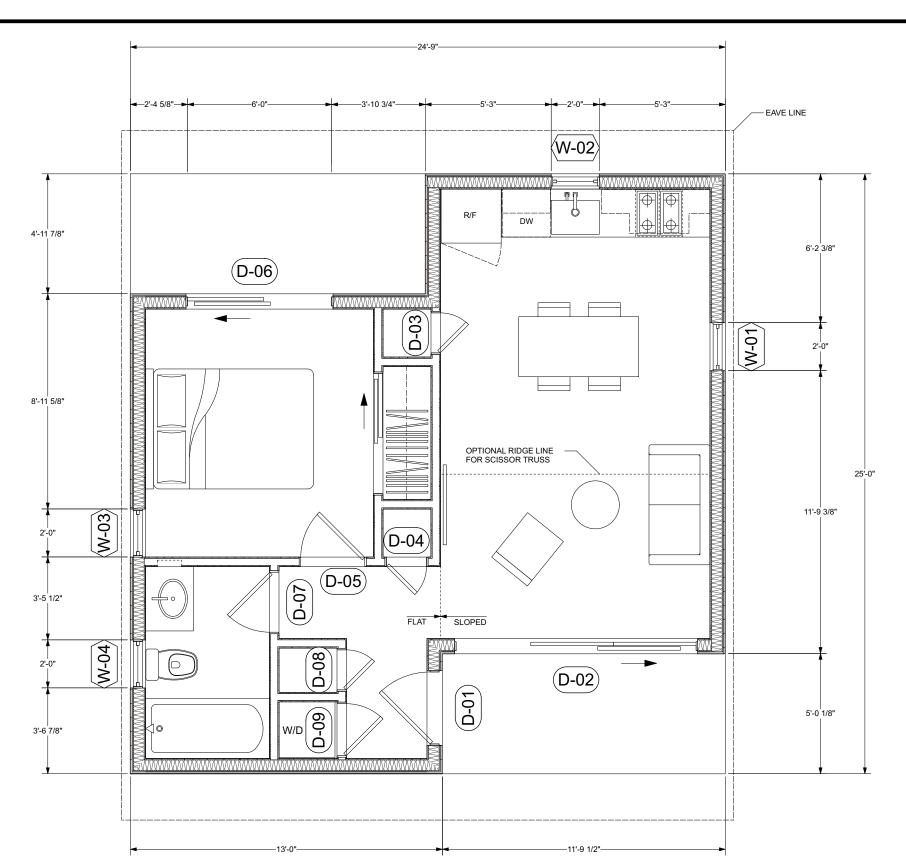
DIVISION

BUILDING

Development

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Joaquin County, Planning



WINDOW SCHEDULE								
MARK	DIMENSION	TYPE	TEMPERED	NOTES				
W-01	2'-0" x 3'-6"	AWNING						
W-02	2'-0" x 3'-6"	CASEMENT						
W-03	2'-0" x 3'-6"	AWNING						
W-04	2'-0" x 3'-6"	AWNING						

EXTERIOR WINDOWS, EXTERIOR GLAZED DOORS, GLAZED OPENINGS WITHIN EXTERIOR DOORS, GLAZED OPENINGS WITHIN EXTERIOR GARAGE DOORS, AND EXTERIOR STRUCTURAL GLASS VENEER SHALL COMPLY WITH ONE OF THE FOLLOWING: (SELECT ONE)

**A.** MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, AND WHERE ANY GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN INTERLOCK AREA, AND BE CERTIFIED TO AAMA/WDMA/CSA 101/I.S.2/A40 B. MINIMUM 20-MIN FIRE-RESISTANCE-RATED.

C. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2

	DOOR SCHEDULE							
MARK	DIMENSION	TYPE	TEMPERED	NOTES				
D-01	3'-0" x 6'-8"	SWING						
D-02	10'-0" x 6'-8"	OXX SLIDER						
D-03	1'-8" x 6'-8"	SWING						
D-04	1'-8" x 6'-8"	SWING						
D-05	2'-8" x 6'-8"	SWING						
D-06	6'-0" x 6'-8"	XO SLIDER						
D-07	2'-6" x 6'-8"	SWING						
D-08	1'-8" x 6'-8"	SWING						
D-09	2'-2" x 6'-8"	SWING						

EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING: (SELECT ONE)

**A.** EXTERIOR SURFACE OR CLADDING OF NON-COMBUSTIBLE OR IGNITION-RESISTANT

MATERIAL

B. SOLID CORE WOOD COMPLYING WITH THE

- STILES AND RAILS MINIMUM 1-3/8 INCHES THICK - RAISED PANELS MINIMUM 1-1/4 INCHES THICK **EXCEPTION:** EXTERIOR PERIMETER OF RAISED PANEL MAY TAPER TO A TONGUE MINIMUM 3/8

C. MINIMUM 20-MIN FIRE RATED WHEN TESTED PER NFPA 252 D. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1

### FLOOR PLAN NOTES

1. EXTERIOR WALLS WITHIN 3 FEET OF PROPERTY LINE (SPRINKLERS) OR 5 FEET OF PROPERTY LINE (WITHOUT SPRINKLERS) REQUIRE 1-HOUR FIRE RATING FOR EXPOSURE TO BOTH SIDES

2. PROJECTIONS:
- PROHIBITED WITHIN 2 FEET OF PROPERTY LINE
-1-HOUR FIRE RATING ON THE UNDERSIDE WITHIN 3FT OF PROPERTY LINE
(SPRINKLERS)

(SPRINKLERS)

1-HOUR FIRE RATING ON THE UNDERSIDE WITHIN 5FT OF PROPERTY LINE (WITHOUT SPRINKLERS)

3. OPENINGS:
- PROHIBITED WITHIN 3FT OF PROPERTY LINE
- MAXIMUM 25% OF WALL AREA WITHIN 5 FEET OF PROPERTY LINE (WITHOUT SPRINKLERS)

4. PENETRATIONS:
-1-HOUR FIRE-RATED PENETRATIONS OF WALLS WITHIN 3FT OF PROPERTY LINE (SPRINKLERS)
-1-HOUR FIRE-RATED PENETRATIONS OF WALLS WITHIN 5FT OF PROPERTY LINE (WITHOUT SPRINKLERS)

5. CONCRETE LANDING WITH MIN 36" DEPTH AND A MAXIMUM OF 1-1/2" LOWER THAN TOP OF DOOR THRESHOLD

### **ADDITIONAL NOTES**

using these standard plans, the user agrees to release San Joaquin County from any and claims, liabilities, suits, and demands on account of any injury, damage, or loss to persons property, including injury or death, or economic losses, arising out of the use of these nstruction documents. The use of these plans does not eliminate or reduce the user's sponsibility to verify any and all information. By usi all clai or prop constru respon BUILDING DIVISION

San Joaquin County, Planning & Development Services **500 SF ACCESSORY DWELLING UNIT** 



# (W-02) 4'-11 7/8" 6'-2 3/8" (D-06) D-03 8'-11 5/8" 20x30 ATTIC LOFT ACCESS OPTIONAL RIDGE FOR 25'-0" 11'-9 3/8" (W-03)D-04 (D-05) D-07 3'-5 1/2" W-04) **FLAT** D-08 (D-02) D-01 (60-Q) 5'-0 1/8" 3'-6 7/8"

WINDOW SCHEDULE								
MARK	DIMENSION	TYPE	TEMPERED	NOTES				
W-01	2'-0" x 3'-6"	AWNING						
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B. MINIMUM 20-MIN FIRE-RESISTANCE-RATED. C. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2

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EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING: (SELECT ONE)

**A.** EXTERIOR SURFACE OR CLADDING OF NON-COMBUSTIBLE OR IGNITION-RESISTANT

MATERIAL

B. SOLID CORE WOOD COMPLYING WITH THE

- STILES AND RAILS MINIMUM 1-3/8 INCHES THICK - RAISED PANELS MINIMUM 1-1/4 INCHES THICK **EXCEPTION:** EXTERIOR PERIMETER OF RAISED PANEL MAY TAPER TO A TONGUE MINIMUM 3/8

C. MINIMUM 20-MIN FIRE RATED WHEN TESTED PER NFPA 252

D. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1

### FLOOR PLAN NOTES

1. EXTERIOR WALLS WITHIN 3 FEET OF PROPERTY LINE (SPRINKLERS) OR 5 FEET OF PROPERTY LINE (WITHOUT SPRINKLERS) REQUIRE 1-HOUR FIRE RATING FOR EXPOSURE TO BOTH SIDES

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(SPRINKLERS) (SPRINCERS)

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### **ADDITIONAL NOTES**

**500 SF ACCESSORY DWELLING UNIT** 

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San Joaquin County, Planning & Development Services BUILDING DIVISION



1. ALL FIXTURES TO BE HIGH EFFICACY (NO EXCEPTIONS) PER CENC SECTION 150.0(K)(I).

2. CLOTHES CLOSET LIGHT FIXTURE CLEARANCES SHALL CONFROM TO CEC 410-8.

3. LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES OR OTHER WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS," PER CEC 410-4(A).

6. AIRTIGHT - RECESSED FIXTURES INSTALLED IN AN INSULATED SPACE SHALL BE CERTIFIED AIRTIGHT IN ACCORDANCE WITH ASTM E283.

2. APPROVED MINIMUM 4-INCH SQUARE ELECTRICAL JUNCTION BOX LOCATED WITHIN 72 INCHES HORIZONTALLY AND 12 INCHES VERTICAL OF MAIN ELECTRICAL SERVICE PANEL

3. MINIMUM 1 INCH DIAMETER LISTED ELECTRICAL METALLIC

4. MINIMUM 1 INCH DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX AND TERMINATING AT THE MAIN ELECTRICAL SERVICE PANEL

5. ELECTRICAL JUNCTION BOX AND SEGMENT OF METALLIC RACEWAY IN THE ATTIC SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC"

# UTILITY PLAN NOTES

-BUILT IN

(\$

SD

⇒W/D

**⊲**2'-5"►

DUPLEX OUTLET DUPLEX GFCI OUTLET

SMOKE DETECTOR

CARBON MONOXIDE ALARM

FLOOR MOUNTED OUTLET

THREE WAY WALL SWITCH

GARBAGE DISPOSAL SWITCH

COMBO SMOKE/ CARBON MONOXIDE DETECTOR

FLAT

**ELECTRICAL LEGEND** 

<del>-</del>

SLOPED

HIGH EFFICACY RECESSED LIGHT

CIELING MOUNTED LIGHT FIXTURE

WALL MOUNTED LIGHT FIXTURE

PENDANT LIGHT FIXTURE

LINEAR STRIPE LIGHT FIXTURE

FAN AND LIGHT COMBINATION

FAN

OPTIONAL RECESSED LIGHT FOR SLOPED CIELING

FAN/LIGHT.

SWITCH ON HOOD.

AC CONDENSER

WATER HEATER AS **INDICATED IN CF1R FORM** 

(TITLE-24) ENCLOSURE

PER MANUFACTURER

200 AMP ELEC PANEL. SEE SOLAR READY

-NOTES.

**OUTDOOR LIGHT** 

-FIXTURE

-SPECIFICATIONS.

- 2. SMOKE DETECTORS TO BE INTERCONNECTED PER CRC R314.4 AND HARD-WIRED WITH BATTERY BACK-UP PER CRC R314.6
- 3. CARBON MONOXIDE ALARMS TO BE INTERCONNECTED PER CRC R315.7 AND HARD-WIRED WITH BATTERY BACK-UP PER CRC R315.5
- 4. 4" Ø DRYER VENT WITH MAXIMUM 14 FOOT COMBINED HORIZONTAL AND VERTICAL LENGTH WITH TWO 90 DEGREE ELBOWS.
- 5. A MECHANICAL EXHAUST VENTILATION SYSTEM, SUPPLY VENTILATION SYSTEM, OR COMBINATION THEREOF SHALL BE INSTALLED FOR EACH DWELLING UNIT TO PROVIDE WHOLE-BUILDING VENTILATION WITH OUTDOOR AR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.
- 6. AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST VENTILATION SYSTEM SHALL BE INSTALLED IN EACH BATHROOM WITH A BATHTUB, SHOWER, OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH A SHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION, INTERMITTENT LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 50 AIR CHANGES PER HOUR IN KITCHENS BASED ON KITCHEN VOLUME.

5. PORCHES AND OUTDOOR LIGHTING - SECTION 150(K) 6: LUMINARIES PROVIDING OUTDOOR LIGHTING AND PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH-EFFICACY LUMINARIES.

# SOLAR READY KEY NOTES (

1. THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER AND SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF DOUBLE-POLE CIRCUIT BREAKERS FOR A FUTURE SOLAR PHOTOVOLTAIC SYSTEM. SUCH RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC"

3. MINIMOM - INDIGENTATION OF LIGHTS LEGITLATION OF A REACEWAY ORIGINATING AT READILY ACCESSIBLE ATTIC LOCATION WITH PROXIMITY TO SOLAR ZONE AREA AND TERMINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX

San Joaquin County, Planning & Development Services **500 SF ACCESSORY DWELLING UNIT** DIVISION BUILDING

By all con con con

LIFORM Sheet Number

**ELECTRICAL PLAN** 1/2" = 1'-0"

22 X 30 ATTIC ACCESS-

By us all cls or pro const respo

**ELEVATION KEY NOTES** 

1. ROOF: CLASS 'A' FIRE RATING
ROOF MATERIAL:
UNDERLAYMENT:
LISTING REPORT #:

5. RIDGE VENT (SEE NOTE 5 & 6 BELOW) MANUFACTURER:\_\_\_\_

6. EAVE VENT (SEE NOTE 5 & 6 BELOW) MANUFACTURER:\_\_\_\_\_\_M

WILDFIRE ZONE PLAN NOTES

FOLLOWING MEANS OF PROTECTING SPACES AT EAVES ENDS.

1. IN ROOF COVERINGS WHERE THE PROFILE CREATES SPACE BETWEEN THE ROOF COVERING AND COMBUSTIBLE ROOF DECKING, SPECIFY ONE OF THE

a. FIRE-STOPPING WITH APPROVED MATERIALS
b. ONE LAYER OF 72 POUND (32.4 KG) MINERAL-SURFACED NON-PERFORATED
CAP SHEET COMPLYING WITH ASTM D 3909 INSTALLED OVER THE COMBUSTIBLE
DECKING c. OTHERWISE CONSTRUCTED TO PREVENT INTRUSION OF FLAMES AND EMBERS

2. EXPOSED VALLEY FLASHINGS SHALL BE CONSTRUCTED WITH NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.

5. ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC) SHALL RESIST THE INTRUSION OF FLAMES AND EMBERS 6. VENTILATION OPENINGS FOR ENCLOSED ATTICS. EAVE SOFFIT SPACES. ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, UNDERFLOOR VENTILATION OPENINGS, AND VENT OPENINGS IN EXTERIOR WALLS AND EXTERIOR DOORS SHALL BE LISTED TO ASTM E 2886 AND COMPLY WITH ALL OF THE FOLLOWING:

a. THERE SHALL BE NO FLAMING IGNITION OF THE COTTON MATERIAL DURING THE EMBER INTRUSION TEST
b. THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST
PORTION OF THE FLAME INTRUSION TEST
c. THE MAXIMUM TEMPERATURE OF THE UNEXPOSED SIDE OF THE VENT SHALL
NOT EXCEED 662 DEGREES FAHRENHEIT (350 DEGREES CELSIUS)

a. NON-COMBUSTIBLE MATERIAL (STUCCO, CEMENT FIBER BOARD, ETC)
- STUCCO AND CEMENT PLASTER USED AS AN EXTERIOR WALL COVERING
SHALL BE 7/8-INCH THICK
- NONCOMBUSTIBLE OR FIRE-RETARDANT-TREATED WOOD SHAKE USED AS AN

- NONCOMBUSTIBLE OR FIRE-RE IARDANT : THEATIED WOOD SHAKE USED AS AN EXTERIOR WALL COVERING SHALL HAVE AN UNDERLAYMENT OF MINIMUM 1/2-INCH FIRE-RATED GYPSUM SHEATHING THAT IS TIGHTLY BUTTED, OR TAPED AND MUDDED, OR AN UNDERLAYMENT OF OTHER IGNITION-RESISTANT MATERIAL APPROVED BY THE BUILDING OFFICIAL.

b. IGNITION-RESISTANT MATERIAL

8. PATIO COVER, CARPORT AND TRELLIS CONSTRUCTION WITH ALL EXPOSED ELEMENTS SHALL COMPLY WITH ANY OF THE FOLLOWING:

- NON-COMBUSTIBLE MATERIAL
- 1-HOUR FIRE-RESISTANT-RATED MATERIAL
- APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
- MODIFIED HEAVY TIMBER (MIN 2X TONGUE-AND-GROOVESHEATHING, 4X6
RAFTERS/BEAMS, 6X6 POSTS)

9. DECK, BALCONY, AND EXTERIOR STAIR CONSTRUCTION, WITH ALL EXPOSED ELEMENTS SHALL COMPLY WITH THE FOLLOWING:

- MODIFIED HEAVY TIMBER (MIN 4X8 JOISTS, 4X10 OR 6X8 BEAMS, 6X6 POSTS)

B. DECKING AND TREAD MATERIAL
 NON-COMBUSTBLE MATERIAL
 -1-HOUR FIRE-RESISTANT-RATED MATERIAL
 -APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 -APPROVED ALTERNATIVE DECKING MATERIAL MEETING TESTS REQUIREMENTS
OF COUNTY BUILDING CODE 92.1.709A.1.4)

10. EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS

a. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4 b. DOOR OVERLAPS ONTO JAMBS AND HEADERS c. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING

11. PAPER-FACED INSULATION PROHIBITED IN ATTICS OR OTHER VENTILATED

a. NON-COMBUSTIBLE MATERIAL b. APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD c. MATERIAL MEETING SAME FIRE-RESISTIVE STANDARDS AS EXTERIOR WALLS OF BUILDINGS

12. FENCES OR ANY STRUCTURE WITHIN 5 FEET OF BUILDING SHALL BE CONSTRUCTED PER ONE OF THE FOLLOWING:

a. Framing

NON-COMBUSTIBLE MATERIAL

1-HOUR FIRE-RESISTANT-RATED MATERIAL

APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD

b. DECKING AND TREAD MATERIAL (ANY OF THE FOLLOWING):

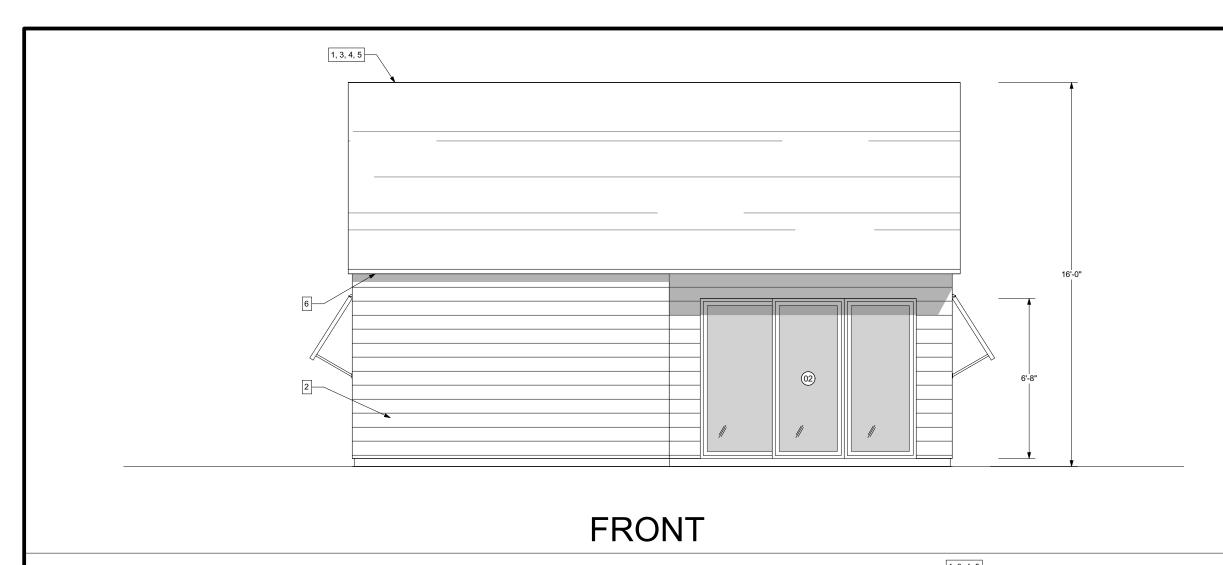
7. EXTERIOR WALL FINISH SHALL COMPLY WITH ONE OF THE FOLLOWING

 ${\bf 3.}$  ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.

4. SKYLIGHTS SHALL BE TEMPERED GLASS.

3. ROOF PITCH: 6.5:12 4. RADIANT BARRIER IF REQUIRED

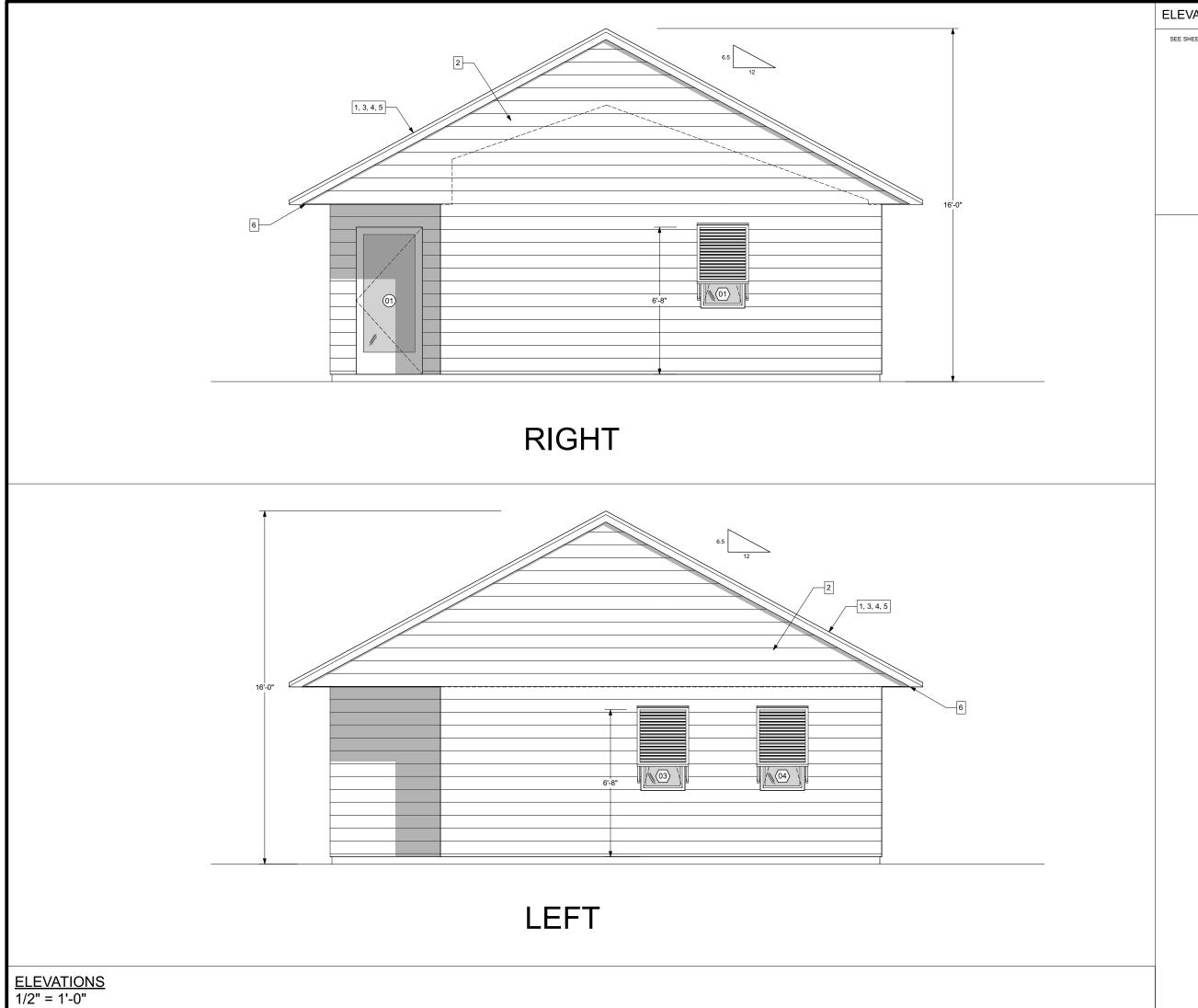




# 1, 3, 4, 5 (02)

**ELEVATIONS** 1/2" = 1'-0"

# **BACK**



ELEVATION KEY NOTES

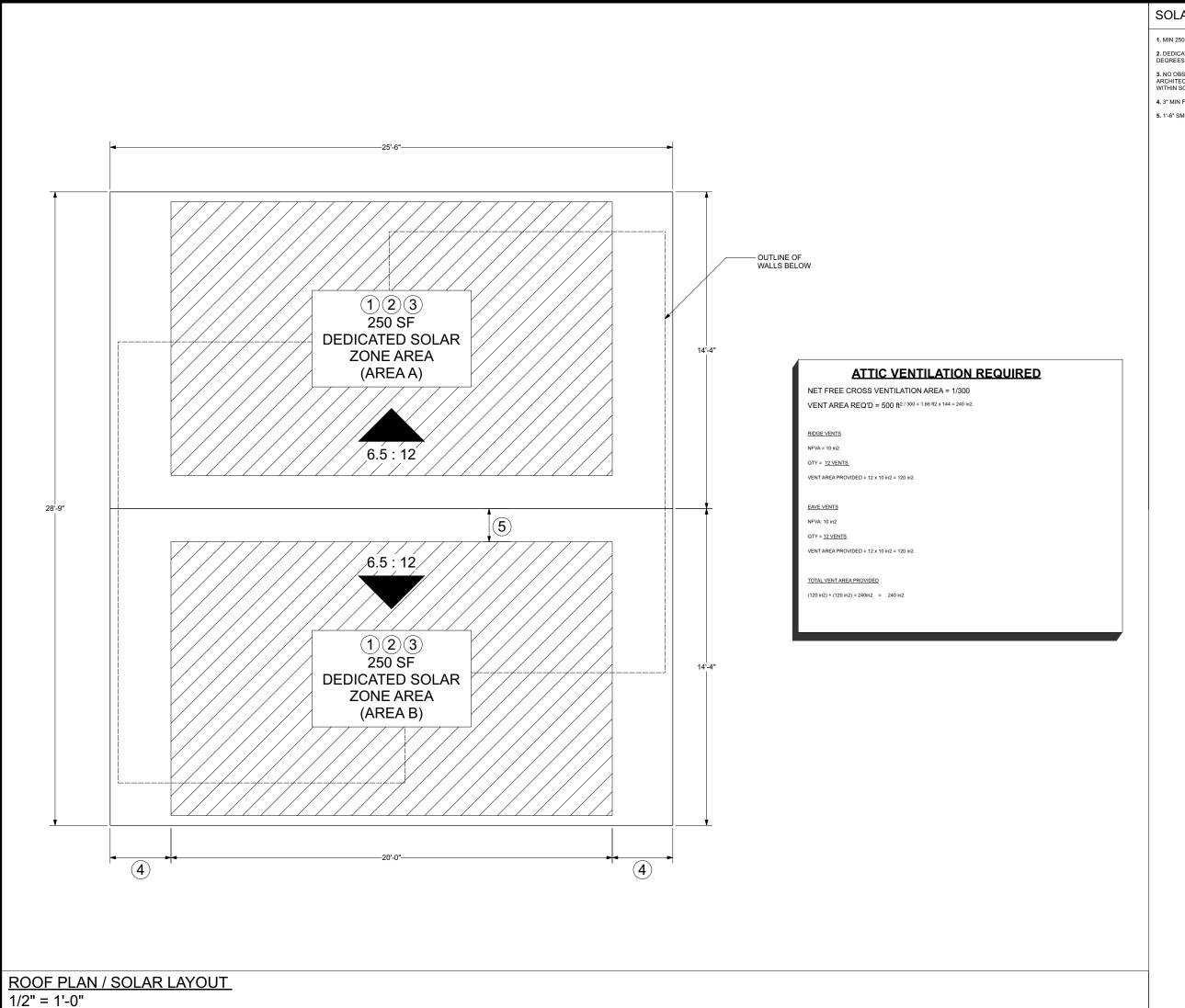
SEE SHEET A3 FOR KEY NOTES

By using these standard plans, the user agrees to release San Joaquin County from any and all claims, liabilities, suits, and demands on account of any injury, damage, or loss to persons or property, including injury or death, or economic losses, arising out of the use of these construction documents. The use of these plans does not eliminate or reduce the user's responsibility to verify any and all information.

San Joaquin County, Planning & Development Services 500 SF ACCESSORY DWELLING UNIT BUILDING DIVISION



**A4** 



SOLAR READY KEY NOTES

1. MIN 250 S.F. SOLAR ZONE AREA

2. DEDICATED SOLAR ZONE AREA LOCATED BETWEEN 110 AND 270 DEGREES OF TRUE NORTH - USE AREA A OR B AS NEEDED.

3. NO OBSTRUCTIONS - INCLUDING VENTS, CHIMNEYS, SKYLIGHTS, ARCHITECTURAL FEATURES, ROOF-MOUNTED EQUIPMENT - LOCATED WITHIN SOLAR ZONE.

4. 3" MIN FIRE FIGHTER ACCESS

5. 1'-6" SMOKE VENTILATION SETBACK AT RIDGES

By using these standard plans, the user agrees to release San Joaquin County from any and all claims, liabilities, suits, and demands on account of any injury, damage, or loss to persons or property, including injury or death, or economic losses, arising out of the use of these construction documents. The use of these plans does not eliminate or reduce the user's responsibility to verify any and all information.

San Joaquin County, Planning & Development Services 500 SF ACCESSORY DWELLING UNIT BUILDING DIVISION

Sheet Number

### NOTE REGARDING STRUCTURAL DRAWINGS

THE STRUCTURAL DRAWINGS SHOW ONLY THE BASIC STRUCTURAL FRAME. REFER TO THE 5 TRUCTURAL DRAWNINGS SHOW DILLY THE BASIC STRUCTURAL FRAME. REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWNINGS FOR NONSTRUCTURAL ITEMS INCLUDING NONSTRUCTURAL WALLS, WHICH REQUIRE SPECIAL PROVISIONS DURING CONSTRUCTION. ONLY OPENINGS REQUIRING SPECIAL FRAMING ARE SHOWN ON STRUCTURAL PLANS. SEE TYPICAL DETAILS FOR REINFORCING AROUND NOMINAL OPENINGS NOT SHOWN.

	TABLE 2304.10.1 FASTENING SCHEDULE								
	CONNECTION	(PARTIAL LIST)	NAILING						
1.	JOIST TO SILL (GIRI	DER), TOENAIL	(4) 8d						
2.	BRACING TO JOIST	(RAFTER), TOENAIL EA. END	(2) 8d						
6.	SOLE PLATE TO JO	IST (BLKG)	16d @ 16" o.c.						
7.	T/P AND SOLE PLAT	E TO STUD, END NAIL	(2) 16d						
8.	STUD TO SOLE PLA	TE (ALTERNATE)	(4) 8d TOENAIL						
9.			16d @ 6" o.c.						
10	FLOOR & ROOF JOS	SITS OR BLOCKING TO TOP PLATE	(4) 10d TOENAIL						
11	BLKG. BTWN. JOIST	S (RAFTERS) TO T/P, END NAIL	(3) 8d						
12	RIM JOIST TO T/P, T	OENAIL	8d @ 6" o.c.						
13	<ol> <li>TOP PLATES, LAPS</li> </ol>	& INTERSECTIONS, FACE NAIL	(2) 16d						
15	CEILING JOISTS TO	PLATE, TOENAIL	(4) 8d						
16	CONTINUOUS HDR	TO STUD, TOENAIL	(4) 20d						
17	<ul> <li>CEILING JOISTS, LA</li> </ul>	PS O/ PARTITIONS, FACE NAIL	(3) 16d						
18	<ol> <li>CEILING JOISTS TO</li> </ol>	PARALLEL RAFTERS, FACE NAIL	(3) 16d						
19	RAFTER TO PLATE,	TOENAIL	(3) 8d						
23	BUILT-UP CORNER	STUDS	16d @ 24" o.c.						
24	. POST TO SILL/SOL	E PLATE	(4) 8d TOENAIL						

# STRUCTURAL DESIGN INFORMATION

BASIS OF STRUCTURAL DESIGN: CALIFORNIA BUILDING CODE

DESIGN CRITERIA FOR PROJECT SOILS: CALIFORNIA BUILDING CODE

# CALIFORNIA BUILDING CODE PRESUMPTIVE LOAD BEARING VALUES CLASS 4/5 MATERIALS:

DEAD + LIVE LOADS - 1,500 PSF DEAD + LIVE LOADS + SEISMIC/WIND - 1,995 PSF

GRAVITY LOAD	SCHEDULE		LATERAL SYSTEM DESIGN DATA		
MATERIAL	DEAD LOAD	LIVE LOAD	3 SEC. GUST SPEED - WIND EXPOSURE RATING -	94 mph Exp. B	
ROOF EXTERIOR WALL INTERIOR WALL	19.0 psf 17.8 psf 7.3 psf	20 psf	END ZONE WALL PRESSURE - INT. ZONE WALL PRESSURE -	24.96 psf 19.51 psf	
			SOIL DESIGN CATAGORY - SEISMIC DESIGN CATAGORY -	D (DEFAUL D	
GENERAL DES	SIGN DATA		Ss - S1-	0.960 0.332	
IMPORTANCE FA OCCUPANCY CA ANALYSIS PROC LAT. FORCE R.S.	TEGORY - EDURE -	1 II ELFP AR WALLS	Sds - Sd1 - SEISMIC COEFFICIENT Cs - RESPONSE MOD. FACTOR R - SEISMIC BASE SHEAR -	0.768 0.427 0.118 6.5 3.209 kips	

# **ABBREVIATIONS**

	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	, , , , , •	
A.B.	ANCHOR BOLT	INSUL.	INSULATION
ABV.	ABOVE	INT.	INTERIOR
ADH	ADHESIVE	JNT.	JOINT
ALT.	ALTERNATE	JST.	JOIST
ARCH.	ARCHITECTURAL	LOC.	LOCATION
AWS	AMERICAN WELDING SOCIETY	LSL	LAMINATED STRAND LUMBER
BLW.	BELOW	LVL	LAMINATED VENEER LUMBER
BLDG.	BUILDING	LWC	LIGHT WEIGHT CONCRETE
BLKG.	BLOCKING	MATL.	MATERIAL
ВМ	BEAM	MAX.	MAXIMUM
B.O.	BOTTOM OF	MECH.	MECHANICAL
BRG.	BEARING	MFS	MANUFACTURER
BOTT.	воттом	MIN.	MINIMUM
BTWN.	BETWEEN	(N)	NEW
C.I.P.	CAST IN PLACE	N/A	NOT APPLICABLE
CL	CENTERLINE	N.I.C.	NOT IN CONTRACT
CLG.	CEILING	NO, #	NUMBER
CLR.	CLEAR	NS	NEAR SIDE
COL.	COLUMN	N.T.S.	NOT TO SCALE
CONC.	CONCRETE	N.W.C.	NORMAL WEIGHT CONCRETE
CONN	CONNECTION	0/	OVER
CONSTR	CONSTRUCTION	O.C.	ON CENTER
CONT.	CONTINUOUS	O.H.	OPPOSITE HAND
CTR.	CENTER	OPP	OPPOSITE
DBL	DOUBLE	OPNG.	OPENING
DET.	DETAIL	OSB	ORIENTED STRAND BOARD
DF	DOUGLAS FIR	OWSJ	OPEN WEB STEEL JOISTS
DIA.	DIAMETER	PDF	POWER DRIVEN FASTENER
DIAG.	DIAGONAL	PERP.	PERPENDICULAR
DIM	DIMENSION	PERIM.	PERIMETER
DWG	DRAWING	PL	PLATE
(E)	EXISTING	PLWD.	PLYWOOD
E.A.	EACH	PSL	PARALLEL STRAND LUMBER
E.F.	EACH FACE	P.T.	PRESSURE TREATED
EL.	ELEVATION	REF	REFERENCE
EMBED.	EMBEDMENT	REINF.	REINFORCING
E.N.	EDGE NAIL	REQ'D.	REQUIRED
EQUIP.	EQUIPMENT	RET.	RETAINING
E.W.	EACH WAY	RO	ROUGH OPENING
EXP.	EXPANSION	RDWD.	REDWOOD
EXT.	EXTERIOR	S.A.D.	SEE ARCHITECTURAL DRAWINGS
FNDN.	FOUNDATION	SCHED.	SCHEDULE
F.F.	FINISHED FLOOR	SHTG.	SHEATHING
FLR	FLOOR	SIM.	SIMILAR
F.O.	FACE OF	S.O.G.	SLAB ON GRADE
FRMG.	FRAMING	SPEC.	SPECIFICATIONS
F.S.	FAR SIDE	SQ.	SQUARE
FT	FOOT	SS	STAINLESS STEEL
FTG.	FOOTING	STD	STANDARD
GA	GAGE	T&B	TOP AND BOTTOM
GALV.	GALVINIZED	T&G	TONGUE AND GROOVE
GR.	GRADE	T.N.	TOE NAIL
GL	GLULAM	T.O.	TOP OF
G.B.	GYPSUM BOARD	TYP.	TYPICAL
HDG	HOT DIPPED GALVANIZED	U.O.N.	UNLESS OTHERWISE NOTED
HDR	HEADER	VERT	VERTICAL
HGR	HANGER	W.P.	WATER PROOFING
HK	HOOK	WT	WEIGHT
HODIZ	HODIZONITAL	1404/5	WELDED WIDE EARDIG

# HANGER CONNECTION SCHEDULE

WWF

WELDED WIRE FABRIC

WITH

HORIZ.

HORIZONTAL

HIGH STRENGTH BOLT

HOLLOW STRUCTURAL STEEL INFORMATION

SUPPORTED MEMBER WIDTH	SUPPORTED MEMBER DEPTH	TOP FLANGE HANGER	ALLOWABLE LOAD	FACE MOUNTED HANGER	ALLOWABLE LOAD
	9‡"	HUI49.5TF	4,550 LB	HGUS410	9,100 LB
	9½"	HUI49.5TF	4,550 LB	HGUS410	9,100 LB
3 <sup>1</sup> / <sub>2</sub> "	11 <sup>1</sup> / <sub>4</sub>	GLTV3.56/11.25	7,400 LB	HGUS412	9,600 LB
	11g"	GLTV3.511	7,400 LB	HGUS412	9,600 LB
	14"	GLTV3.514	7,000 LB	HGUS414	10,100 LB
	91"	HB5.50/9.5	5,640 LB	HHUS5.50/10	5,660 LB
	9½"	HB5.50/9.5	5,640 LB	HHUS5.50/10	5,660 LB
5 <sup>1</sup> / <sub>4</sub> -5 <sup>1</sup> / <sub>2</sub>	11 <sup>1</sup> / <sub>4</sub>	GLTV5.50/11.25	7,400 LB	HGUS5.50/12	9,600 LB
	117	GLTV5.511	7,400 LB	HGUS5.50/12	9,600 LB
	14"	GLTV5.514	7,400 LB	HGUS5.50/14	10,100 LB

USE FOR PARALAM, MICROLAM AND DOUGLAS FIR. LOAD VALUES BASED ON SIMPSON WOOD CONSTRUCTION CONNECTORS CATALOG 2017-2018 EDITION

### **LEGEND**

CONCRETE SLAB CONCRETE FOOTING, WIDTH AS INDICATED ON PLAN, DEPTH 1-6" MIN BELOW GRADE 3 \$7 BAR BENDS AT FOOTINGS SHALL BE PER TYPICAL DETAIL WOOD-FRAMED BEARING WALL ABOVE WITH 2x4 STUDS @ 16\* O.C. U.O.N. WITH 1/2\* CD-X PLYWOOD EXTERIOR SHEATHING TYPICAL. CONSTRUCT BEARING WALLS PER TYPICAL DETAIL, SEE ARCHITECTURAL DRAWINGS FOR ALL OTHER WALL SHEATHING AND FINISHING (1) (S3) SHEAR/BEARING WALLS BELOW WOOD PART. WALL-NON STRUCTURAL WOOD-FRAMED WALL ABOVE TO BE CONSTRUCTED AS A SHEAR WALL, WITH 1/2" CD-X PLYWOOD WITH FASTENING PER SHEAR WALL SCHEDULE AND TYPICAL DETAILS 6 S4 9 S3 SEISMIC COLLECTOR STRAP, PER PLAN & TYPICAL DETAIL (5) (S3) MAXIMUM STUD AND JOIST PENETRATIONS ALLOWED SHALL BE PER TYPICAL DETAIL <u>1</u> <u>S4</u> SIMPSON HOLDOWN WITH BOUNDARY CHORD SIZE, SIMPSON HDU2 OR EQUAL, U.O.N., REFER TO TYPICAL DETAILS. WOOD BEAM RAFTER OR JOIST, PER PLAN (4) (S3) ------ LEDGER, SEE PLAN FOR SIZE

U410

П

FLUSH FRAMED BEAM-TO-BEAM CONNECTIONS WITH SIMPSON HARDWARE TYPE

REFER TO ARCHITECTURAL DRAWINGS FOR ALL PLAN DIMENSIONS. ANY DIMENSIONS GIVEN ON THESE DRAWINGS ARE FOR REFERENCE AND SHOULD BE VERIFIED ON THE ARCHITECTURAL DRAWINGS.

WHERE WALL SOLES OR PLATES ARE CUT FOR PLUMBING, HEATING OR OTHER ITEMS, A METAL TIE SHALL BE PROVIDED NOT LESS THAN FOR GA GALVANIZED AND 1.5" WIDDE, FASTENED TO EACH PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN THAN SIX 16d NAULS. POST BEARING ON FRAMING

POST BELOW FRAMING

CONTROL JOINTS PER TYPICAL DETAIL



(7) (S7)

# SHEET INDEX

- S0 SPECIAL INSPECTION & TESTING, FORMS, ABBREVIATIONS, LEGEND & SHEET INDEX
- S1 GENERAL NOTES
- S2 FOUNDATION / FLOOR & ROOF FRAMING PLANS S3 TYPICAL STRUCTURAL DETAILS
- S4 TYPICAL SHEAR WALL & HOLD-DOWN DETAILS
- S5 PROJECT DETAILS S6 TYPICAL CONCRETE DETAILS
- S7 PROJECT FOUNDATION DETAILS

San Joaquin County, Planning & Development Services **500 SF ACCESSORY DWELLING UNIT** DIVISION BUILDING

By using these standard plans, the user agrees to release San Joaquin County from any and all claims, liabilities, suits, and demands on account of any injury, damage, or loss to persons or property, including injury or death, or economic losses, arising out of the use of these construction documents. The use of these plans does not eliminate or reduce the user's responsibility to verify any and all information.



### **GENERAL NOTES**

- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE APPLICABLE EDITION OF THE CALIFORNIA BUILDING CODE (CBC); THE MOST RECENT VERSIONS OF THE CMC. CPC AND CEC: ALL APPLICABLE LOCAL CODES AND ORDINANCES: AND LOCALLY ACCEPTED STANDARDS OF PRACTICE.
- 2 THE CONTRACTOR SHALL REVIEW ALL DRAWINGS IMMEDIATELY UPON THEIR RECEIPT AND SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES
- 3 CONNECTIONS AND IMPLIED CONSTRUCTION ASSEMBLIES THAT ARE NOT SPECIFICALLY DESCRIBED OR DETAILED SHALL BE CONSTRUCTED USING STANDARD CONSTRUCTION PRACTICES IN COMPLIANCE WITH THE GOVERNING CODES AND ORDINANCE.
- 4 ALL DETAIL REFERENCES SHALL BE CONSIDERED "TYPICAL". THE INTENT OF TYPICAL DETAILS SHALL BE APPLIED TO SIMILAR CONDITIONS ELSEWHERE IN THE PROJECT. WHEN DETAILS LABELED "SIMILAR" ARE GIVEN ON DRAWINGS, THE CONTRACTOR SHALL APPLY THE GENERAL INTENT OF THE DETAIL TO THE REFERENCED CONDITION.
- STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING STANDARDS OF PRACTICE TO MEET THE MINIMUM REQUIREMENTS OF THE APPLICABLE EDITION OF T CBC. ANY OMISSIONS OR DISCREPANCIES ON THE PLANS OR ANY DEVIATIONS FROM THE PLANS THAT ARE NECESSITATED BY FIELD CONDITIONS OR ANY CONDITION DIFFERENT FROM THOSE INDICATED ON THE PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING CONSTRUCTION. ALL WORK SHALL BE COORDINATED SO COOPERATION BETWEEN THE TRADES IS ACCOMPLISHED.
- THE STRUCTURAL DRAWINGS SHOW ONLY THE BASIC STRUCTURAL SYSTEMS. REFER TO THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ITEMS WHICH REQUIRE SPECIAL PROVISIONS DURING THE CONSTRUCTION OF THE BUILDING.
- 8 CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING NECESSARY TO COMPLETE THE CONSTRUCTION
- 9 THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED EXCLUSIVELY FOR USE ON THIS PROJECT ONLY. THE DRAWINGS AND SPECIFICATIONS, OR PORTIONS THEREOF, SHALL NOT BE USED ON OTHER PROJECTS OR ADDITIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION OF THE ENGINEER
- 10 THE STRUCTURAL SYSTEMS HAVE BEEN DESIGNED TO CARRY THE SUPERIMPOSED LIVE LOADS AS PRESCRIBED BY THE CALIFORNIA BUILDING CODE AND IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICES, WITH NO SPECIAL PROVISIONS TO CARRY CONCENTRATED LOADS FROM STORAGE AND HANDLING OF CONSTRUCTION MATERIALS OR FROM OPERATION OF CONSTRUCTION EQUIPMENT.
- 11 THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL SCAFFOLDING, BRACING, AND SHORING SYSTEMS AS REQUIRED FOR INSTALLATION, STABILITY AND SAFETY OF NEW WORK AND EXISTING STRUCTURES, PIPING, AND FOUNDATION SYSTEMS. CONTRACTOR SHALL ALSO PROVIDE FOR THE SAFETY OF PEDESTRIANS AND JOB SITE PERSONNEL. AT ALL TIMES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITION OF THE JOB SITE, INCLUDING SAFETY OF PERSONS AND PROPERTY. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING CONSTRUCTION FROM INCLEMENT WEATHER AND EXCENDED ADMACE. AND FROM PHYSICAL DAMAGE.
- 12 CONTRACTOR SHALL COORDINATE WITH THE CITY TO ENSURE ALL INSPECTIONS (INCLUDING SPECIAL INSPECTIONS) ARE COMPLETED PER THE LOCAL BUILDING DEPARTMENT REQUIREMENTS. APPROVALS BY BUILDING INSPECTORS SHALL NO CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS AND SPECIFICATIONS.
- 13 IF PROVIDED, OBSERVATION OF THE CONSTRUCTION BY THE ENGINEER IS INTENDED TO IMPROVE THE PROBABILITY THAT THE WORK IS COMPLETED IN GENERAL CONFORMANCE WITH THE ENGINEERING DESIGN INTENT. OBSERVATION OF THE CONSTRUCTION BY THE ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR COMPLETING THE CONSTRUCTION IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS AND GENERALLY ACCEPTED STANDARDS OF
- 14 ALL FRAMING HARDWARE SHALL BE MANUFACTURED BY SIMPSON STRONGTIE. ALTERNATE FRAMING HARDWARE MANUFACTURERS SHALL NOT BE PROVIDED UNLESS SPECIFICALLY AUTHORIZED BY THE ENGINEER AND THE BUILDING OWNER. IF ALTERNATE HARDWARE SYSTEMS ARE AUTHORIZED. THE CONTRACTOR SHALL FORWARD COMPLETE SHOP DRAWINGS FOR REVIEW AND APPROVAL

### **CONCRETE NOTES**

- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE ACLBUILDING CODE (ACL318) AND THE CALIFORNIA BUILDING CODE (CBC). DETAILING, FABRICATION, AND ERECTION OF REINFORCING BARS SHALL BE II ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF STANDARD PRACTICE (ACI-315).
- CONCRETE SHALL CONFORM TO ASTM 94 AND REACH THE MINIMUM STRENGTH SPECIFIED ON THE FOUNDATION PLANS. CONCRETE QUALITY SHALL CONFORM TO PROVISIONS OF CBC SECTION 19. CEMENT SHALL CONFORM TO ASTM C150, TYPE I OR II.
- 3 MIXING WATER SHALL BE CLEAN AND FREE FROM INJURIOUS AMOUNTS OF OIL. ACIDS, ALKALIES, ORGANIC MATERIALS OR OTHER DELETERIOUS SUBSTANCES. COURSE AGGREGATE SHALL BE HARD, DURABLE CRUSHED STONE OR GRAVEL GRADED PER ASTM
  C33. MAXIMUM SIZE AGGREGATE SHALL BE 3/4 DIAMETER. SAND SHALL BE CLEAN, HARD, DURABLE, WASHED FREE FROM SILT,
  LOAM OR CLAY.
- 4 REINFORCEMENT SHALL NOT BE DISPLACED OR CUT TO PROVIDE FOR PENETRATIONS. INSERTS, OR EMBEDMENT
- 5 LOOSE SOIL. SAWDUST, AND OTHER DEBRIS SHALL BE REMOVED FROM THE FORMS PRIOR TO PLACING CONCRETE. ALL CONCRETE SHALL BE THOROUGHLY CONSOLIDATED DURING THE PLACEMENT USING A MECHANICAL VIBRATO
- CONCRETE SHALL BE REGULAR WEIGHT CONCRETE (145 PCF) U.O.N. AND SHALL ATTAIN THE FOLLOWING ULTIMATE COMPRESSIVE STRENGTHS AT 28 DAYS. (MINIMUM CEMENT CONTENT: FIVE SACKS/CU. YD.)

LOCATION	MIN. STRENGTH @ 28 DAYS - PSI*	MAX. AGG. SIZE- INCHES	MAX.SLUMP-INCHES
FOUNDATIONS*	3000	3/4	4
SLABS-ON-GRADE*	3000	3/4	4

\* SPECIAL INSPECTION OF PLACEMENT <u>IS NOT</u> REQUIRED WHEN "MIN. STRENGTH AT 28 DAY" IS LESS THAN 2500 PSI OR MARKED WITH AN ASTERISK, (\*). WHEN MARKED WITH AN ASTERISK, CONCRETE IS SPECIFIED AS 3,000 PSI FOR QUALITY CONTROL AND TO SATISFY DURSBILITY REQUIREMENTS OF 2019 CED 1904/1904.1 - THE STRUCTURAL CALCULATIONS ASSUME A 2,500 PSI COMPRESSIVE STRENGTH THEREFORE SPECIAL INSPECTION IS NOT REQUIRED.

- CONCRETE SHALL BE CONTINUOUSLY CURED FOR 10 DAYS AFTER PLACING IN ANY APPROVED MANNER, INCLUDING CURING COMPOUND, CURING PAPER, ETC. NOTE: FOOTINGS ARE EXCEPTED FROM THIS REQUIREMENT.
- 9 ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED.
- 10 FLY ASH OR POZZOLANS. IF USED, SHALL CONFORM WITH ASTM C618, COAL FLY ASH AND RAW OR CAI CIFIED NATURAL FLY ASH OR POZULANS, IF USED, SHALL CURING WITH ASH MUST, SUGEFLY ASH AND PAW OR MALLIFIED HASH ITABLE POLIZION. FOR USE AS A MINERAL ADMIXTURE IN CONCRETE. USING SHALL NOT EXCEED 25 PERCENT, BY WEIGHT OF THE TOTAL CEMENTITIOUS MATERIALS. WHEN POZZULANS ARE USED TO MITIGATE THE EFFECT OF SULFAT, BY WEIGHT OF THE CONTAINING SOILS THEY SHALL BE OF A TYPE THAT HAS DEMONSTRATED SUCH ABILITY BY TEST OR SERVICE RECORD.

### REINFORCING STEEL NOTES

- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615. INTERMEDIATE GRADE. FOUNDATION STEEL SHALL REINFURCING STEEL SHALL BE DEFORMED BARS CONFORMING TO AST M AGIS, IN LERMEDIA E GRADE. FOUNDATION STEEL SHALL BE NEW ASTM GRADE 40 (#4 AND SMALLER) OR GRADE 60 (#5AND LARGER). DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO OR EQUAL THAT SET FORTH IN THE MANUAL OF STANDARD PRACTICE (ACL-315) FOR DETAILING REINFORCED CONCRETE STRUCTURES, AND BETTER WHERE REQUIRED BY THE DRAWINGS. STANDARD HOOKS SHALL COMPLY WITH THOSE NOTED IN DETAILS.
- REINFORCING SHALL BE INSTALLED CONTINUOUS FOR THE MAXIMUM LENGTH POSSIBLE. STAGGER, ALL LAP SPLICES A MINIMUM OF 12 INCHES IN CONCRETE AND CONCRETE BLOCK UNLESS OTHERWISE LENGTHS NOTED IN DETAILS. LAP SPLICE ALL BARS A MINIMUM OF 48 BAR DIAMETERS, UNLESS OTHERWISE NOTED IN DETAILS.
- ALL DOWELS. ANCHOR BOLTS AND OTHER INSERTS SHALL BE WELL SECURED IN PLACE PRIOR TO POURING CONCRETE. SUITABLE DEVICES SHALL BE USED TO HOLD THE REINFORCING IN ITS TRUE HORIZONTAL AND VERTICAL POSITIONS. THESE DEVICES SHALL BE SUFFICIENTLY RIGID AND NUMEROUS TO PREVENT DISPLACEMENT OF THE REINFORCING DURING THE PLACING OF THE CONCRETE, ALL PIPES AND DUCTS THROUGH CONCRETE SHALL BE SLEEVED. VERIFY OPENINGS WITH PLUMBER AND
- IF SPECIFIED, WELDED WIRE FABRIC SHALL BE 6x6, #10x#10. WIRE FABRIC SHALL BE ELECTRICALLY WELDED STEEL PER ASTM A18s. LAP 6" MINIMUM AT ALL EDGES AND TIE AT THREE PLACES TO REINFORCING DOWELS (WHERE OCCUR) EXCEPT LOCATIONS WHERE SLAB IS INDEPENDENT OF FOUNDATION. CONTRACTOR SHALL PROVIDE SUPPORT CHAIRS TO ENSURE FABRIC IS LOCATED IN THE CENTER OF THE SLAB.
- 5 CLEAR DISTANCE OF REINFORCEMENT SHALL BE AS FOLLOWS
  - EXPOSED WALL SURFACES
    FORMED SURFACES IN CONTACT WITH EARTH
    1½° CLEAR
    UNFORMED SURFACES IN CONTACT WITH EARTH
    2° CLEAR
    MINIMUM DISTANCE BETWEEN ADJACENT BARS
    2° CLEAR
- 6 WELDING OF REINFORCING BARS SHALL CONFORM TO AWS D1.4 USING ASTM A706 REINFORCING BAR SPECIFICATIONS.

VERTICAL POSITIONS. THESE DEVICES SHALL BE SUFFICIENTLY RIGID AND NUMEROUS TO PREVENT DISPLACEMENT OF THE

8 IN LIEU OF LAP SPLICES, REBAR COUPLERS MAY BE USED. ERICO'S LENTON AND/OR ERICO'S CADWELD OR FOX-HOWLETT MAY BE USED. ALTERNATIVES WILL BE CONSIDERED UPON SUBMITTAL OF MANUFACTURER'S DOCUMENTATION AND ICBO REPORTS STAGGER ALL COUPLERS A MINIMUM OF 24 INCHES.

### **GENERAL FRAMING NOTES**

NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED, OR APPROVED BY THE ENGINEER. NOTCH DETAILS, IF PROVIDED, ARE FOR GENERAL GUIDANCE ONLY. THE ENGINEER SHALL BE CONTACTED TO APPROVE LOCATIONS OF PROPOSED NOTCHES. STUDS IN EXTERIOR WALLS AND BEARING PARTITIONS MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF STUD WIDTH. CUTTING OR NOTCHING OF STUDS IN NON-BEARING PARTITIONS SHALL NOT EXCEED

2 ALL STUD WALLS SHOWN ON STRUCTURAL DRAWINGS SHALL BE FRAMED AS FOLLOWS (U.O.N.):

INTERIOR WALLS, MAXIMUM HEIGHT: UP TO 14 FT. 2X4 @ 16" O.C. EXTERIOR WALLS, MAXIMUM HEIGHT: UP TO 10 FT. 2X4 @ 16" O.C. UP TO 20 FT. 2X6 @ 16" O.C. UP TO 18 FT. 2X6 OR DBL. 2X4 @ 16" O.C. UP TO 21 FT. DBL. 2X6 @ 16" O.C.

- 3 TOP PLATES SHALL BE DOUBLED ON ALL STUD WALLS. LAP 4'-0" MINIMUM AT TOP PLATE SPLICES, WITH (28) 16D NAILS EACH SIDE OF SPLICE, U.O.N. SPLICES IN UPPER AND LOWER PLATES SHALL BE STAGGERED AT LEAST 4 FEET
- 4 POSTS IN WALLS MAY BE MADE WITH MULTIPLE STUDS OF EQUIVALENT WIDTH AND DEPTH, U.O.N. SECURE MULTIPLE STUDS WITH
- PROVIDE KING STUDS AT THE ENDS OF ALL HEADERS OR OTHER BEAMS INSTALLED IN WALLS. PROVIDE DBL. KING STUDS AT ALL OPENINGS GREATER THAN 5 FT WIDE. ADJACENT, STACKING WINDOWS SHALL BE SEPARATED BY KING STUDS THAT ARE CONTINUOUS FROM SILL TO TOP PLATE (TO PREVENT ROTATION). END NAIL KING STUDS TO HEADERS. CRIPPLE STUDS UNDER HEADERS SHALL BE CONTINUOUS TO SOLE PLATE.
- 6 ALL MEMBERS IN BEARING SHALL BE ACCURATELY CUT AND ALIGNED SO THAT FULL BEARING IS PROVIDED WITHOUT THE USE OF
- 7 BLOCK ALL STUD WALLS AS REQUIRED FOR SHEATHING AND FINISHES. BALLOON FRAME ALL WALLS WITH SLOPING CEILING OR
- INSTALL HORIZONTAL MEMBERS WITH CROWN UP. WHERE KNOTS EXIST NEAR THE TOP OR BOTTOM OF HORIZONTAL MEMBERS INSTALL MEMBER WITH KNOTS UP. CANTILEVERED DECK JOISTS SHALL BE CAREFULLY NOTCHED AND TRIMMED (IF NECESSARY TO PROVIDE SLOPE WITHOUT OVER-CUTTING.
- PROVIDE FULL DEPTH BLOCKING OR CONTINUOUS RIM JOIST AT ALL FLOOR AND ROOF FRAMING SUPPORTS. FRAMING MEMBERS SHALL HAVE A MINIMUM OF 2" BEARING AT SUPPORTS. LAPPING JOISTS SHALL HAVE 6" MINIMUM OVERLAP CENTERED OVER
- 10 ALL FRAMING LUMBER SHALL BE DOUGLAS FIR, AND SHALL BE STAMPED WITH A GRADE MARK WITH THE FOLLOWING GRADES. FRAMING LUMBER SHALL CONFORM TO GRADING RULES OF WWPA. MAXIMUM MOISTURE CONTENT SHALL NOT EXCEED 19% AT TIME OF INSTALLATION

TUDS AND PLATES:	#2 GRADE MINIMUM.
DISTS AND RAFTERS:	#1 GRADE MINIMUM, U.O.N
EADERS, BEAMS, GIRDERS:	#1 GRADE MINIMUM, U.O.N
( POSTS:	#1 GRADE, U.O.N.
A DOCTO AND LABORD.	#4 CRADE II O N

12 MANUFACTURED WOOD BEAMS SHALL BE BY TRUSS JOIST MACMILLAN. ALL MICROLLAM, PARALLAM, AND LSL BEAM DEPTHS SHALL MATCH FLOOR FRAMING DEPTH, U.O.N. AND CONFORM TO ESR-1372

	E, KSI	FB, PSI	FV, PSI	WIDTH, IN.
TIMBERSTRAND LSL RIM JOIST	1300	1700	400	1.25
TIMBERSTRAND LSL BEAMS	1550	2325	310	1.75-3.5
MICROLLAM LVL BEAMS	2000	2600	285	1.75-3.5
PARALLAM PSL BEAMS	2200	2900	290	3.5-7

- 13 ALL BOLTED WOOD CONNECTIONS SHALL HAVE A WASHER UNLESS A STEEL PLATE IS SPECIFIED. HOLES SHALL BE PROPERLY ALIGNED. OVERSIZED HOLES ARE NOT ALLOWED. NUTS SHALL BE SNUG TIGHTENED. BOLT HOLES SHALL BE NOMINAL DIAMETER OF BOLT PLUS 1/6". BOLTS SHALL BE 5/4" DIAMETER, MINIMUM, GRADE A307 OR BETTER
- 14 NAILED WOOD CONNECTIONS SHALL USE COMMON WIRE NAILS, U.O.N. MINIMUM NAILING REQUIREMENTS FOR STANDARD CONNECTIONS SHALL BE IN ACCORDANCE WITH CBC FASTENING SCHEDULE (TABLE 2304.10.1).
- 15 ALL MANUFACTURED CONNECTION HARDWARE SHALL BE AS DESIGNATED ON DRAWINGS AND INSTALLED (WITH ALL NAIL HOLES FILLED) IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPLICABLE ICBO APPROVALS.
- 16 INSTALL LAG SCREWS IN DRILLED LEAD HOLES WITH A DIAMETER EQUAL TO ¾ OF THE SHANK DIAMETER. LAG SCREWS SHALL NOT BE HAMMERED IN. PROVIDE WASHERS UNDER HEADS BEARING ON WOOD. HOLES SHALL BE PROPERLY ALIGNED.
- ALL TJI JOIST ARE TO BE PREFABRICATED WOOD I-JOISTS HAVING WOOD OR WOOD-BASED FLANGES AND OSB WEBS. EITHER THE TOP AND BOTTOM FLANGES ARE PARALLEL, FORMING A CONSTANT-DEPTH JOIST; OR THE TOP FLANGE HAS A SINGLE TAPER, FORMING A VARIABLE-DEPTH JOIST. THE WEB PANELS HAVE THE FACE GRAIN ORIENTED VERTICALLY, AND THE WEB-TO-WEB CONNECTION IS EITHER BUTT JOINTED ON SERTARTED AND GLUED TO FORM A CONTINUOUS ME. THE WEB-TO-FLANGE CONNECTION IS A PROPRIETARY TONGUE-AND-GROOVE GLUED JOINT. ALL THE FRAMING MEMBERS ARE TO CONFORM TO
- 18 FASTENERS FOR PRESSURE TREATED WOOD SHALL BE HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS, STEEL
- 19 229x3"x3" PLATE WASHERS SHALL BE PROVIDED AT ALL SILL BOLTS.
- 20 ALL GABLE & RAKE WALLS ARE TO BE BALLOON FRAMED U.N.O. ON STRUCTURAL PLANS.

### **PLYWOOD**

EACH PANEL SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE, TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE U.S. PRODUCTS STANDARD PS-1. PLYWOOD SHALL BE DOUGLAS

\*PROVIDE PLYWOOD CLIPS BETWEEN JOISTS WHERE EDGES ARE NOT BLOCKED. \*\*CONTRACTOR MAY OMIT T&G WHERE EDGES ARE BLOCKED.

- 2. PLYWOOD SHEETS SHALL BE THICKNESS NOTED ON STRUCTURAL DRAWINGS.
- 3. PLYWOOD SHEETS AT FLOORS AND ROOFS SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO JOISTS AND RAFTERS.
- 4. PLYWOOD SHEETS ON WALLS SHALL BE LAID WITH LONG DIMENSION VERTICAL. BLOCK ALL EDGES WITH A MINIMUM OF 3X BLOCKS.
- 5. DRIVE NAILS FLUSH WITH PLYWOOD SURFACE: DO NOT FRACTURE SURFACE BY OVERDRIVING NAILS. REPLACE OVERDRIVEN NAILS WITH NEW HOLE.

### SHEARWALL NOTES

- WHERE A STRUCTURAL SHEARWALL IS INDICATED ON PLANS THE ASSEMBLY SHALL RUN HORIZONTALLY AND CONTINUOUSLY TO THE NEAREST WALL OPENING OR END OF THE WALL; THE ASSEMBLY SHALL RUN VERTICALLY CONTINUOUSLY FROM THE BOTTOM OF THE NEAREST SOLE OR BOTTOM PLATE UP TO THE TOP OF THE NEAREST DOUBLE TOP PLATE (OR BEAM). ALL PLYWOOD PANEL EDGES SHALL BE BLOCKED AND EDGE NAILED.
- WHERE HOLDOWN POSTS OR STUDS ARE INDICATED AT THE END OF A SHEARWALL, THE SHEAR PLYWOOD SHALL BE EDGE NAILED AND THE POST SHALL RUN CONTINUOUSLY FROM THE SOLE PLATE TO THE DOUBLE TOP PLATE. HOLDOWNS SHALL BE ATTACHED TO POSTS AT THE ENDS OF SHEARWALLS AND SHALL EXTEND TO EITHER FRAMING BELOW OR TO FOUNDATION AS SHOWN ON
- 3 SEE SHEARWALL SCHEDULE ON PLANS FOR REQUIRED SHEARWALL NAILING, ANCHOR BOLTS, SILL NAILS, AND OTHER SHEAR
- 4 SHEARWALL PLYWOOD SHALL NOT BE CUT FOR PIPE, DUCTS, SLEEVES, ETC., U.O.N. OR DETAILED.
- 5 UNLESS OTHERWISE DETAILED, ALL INTERIOR SHEARWALLS SHALL BE CONTINUOUS TO THE ROOF OR FLOOR PLYWOOD IN ACCORDANCE WITH THE TYPICAL SHEAR TRANSFER DETAILS.

### STRUCTURAL STEEL NOTES

- ALL STEEL COMMON BOLTS SHALL CONFORM WITH ASTM A307 GRADE A UNLESS OTHERWISE NOTED. NUTS SHALL BE ASTM A563 AND WASHERS SHALL BE ASTM F436. ALL BOLT HEADS AND NUTS THAT BEAR ON WOOD SHALL HAVE MALLEABLE IRON WASHERS IF EXPOSED, OR CUT WASHERS IF CONCEALED
- ALL STEEL THREADED RODS SHALL BE A36 U.O.N.
- ALL STEEL ANCHOR BOLTS SHALL BE ASTM F1554 GRADE 36 TYPE 3 GALVANIZED.

### **ROOF TRUSS DESIGN REQUIREMENTS**

- 1 ROOF TRUSS MANUFACTURER SHALL SUPPLY TO THE CONTRACTOR ROOF TRUSS SHOP DRAWINGS FOR REVIEW AND APPROVAL. ROUF TRUSS MANUFACTURER SHALL SUPPLY TO THE CONTRACTOR ROUF TRUSS SHOP DRAWINGS FOR REVIEW AND APPROVAL. ROOF TRUSS SHOP DRAWINGS SHALL BE SIGNED BY A CALIFORNIA REGISTERED PROFESSIONAL ENGINEER AND SHALL INCLUDE TRUSS LAYOUTS, CALCULATIONS, SPECIFICATIONS, AND DETAILS. TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST LOCAL BUILDING CODE FOR ALL LOADS IMPOSED, INCLUDING LATERAL LOADS AND MECHANICAL EQUIPMENT LOADS. SEE THE LOAD SCHEDULE FOR TYPICAL DEAD AND LIVE LOADS USED IN THE STRUCTURAL DESIGN. TRUSS DESIGNER SHALL SIZE AND SPECIFY ALL HANGERS NECESSARY TO SUPPORT TRUSSES.
- TRUSS DESIGNER SHALL REINFORCE ALL GABLE AND SHEAR TRUSSES TO TRANSFER LATERAL LOADS INDICATED ON THE PLANS FROM THE TOP CHORD TO THE BOTTOM CHORD. SEE ARCHITECTURAL PLANS FOR SPECIAL TRUSS REQUIREMENTS INCLUDING CEILING CONFIGURATIONS, OVERHANGS, ATTIC MOUNTED FAU UNITS, AND OPENINGS FOR SKYLIGHTS, VENTS, CHIMNEYS, ACCESS DOORS, ETC. STRONG-BACKS, CROSS BRIDGING, AND/OR BRACING SHALL BE PROVIDED AND DETAILED AS REQUIRED TO ADEQUATELY BRACE ALL TRUSSES. ALL CONNECTORS SHALL BE ICBO APPROVED.
- TRUSS LAYOUT SHOWN ON THE PLANS IS FOR TRUSS MANUFACTURER'S AID IN DESIGNING THE TRUSSES. ACTUAL TRUSS LAYOUT TRUSS DATOUT SHOWN ON THE PLANS IS PORT TRUSS MANUFACTURES AND IN DESIGNAING THE TRUSSES. ACTUAL TRUSS DATA SHALL UTILIZE BEARING WALLS SHOWN ON THE PLANS AND SHALL MAINTAIN ARCHITECTURAL ROOF AND CEILING PROFILES. INTERIOR WALLS SHALL NOT BE USED FOR BEARING UNLESS SPECIFICALLY NOTED IN THE STRUCTURAL PLANS.
- 4 TOTAL LOAD AND LIVE LOAD DEFLECTIONS SHALL BE LIMITED TO L/240 AND L/360 RESPECTIVELY. DEFLECTIONS SHALL BE R REDUCED TO ELIMINATE UNDESIRABLE APPEARANCE, FINISH CRACKING, OR SHIFTIN
- 5 TRUSS SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE CONTRACTOR PRIOR TO SUBMITTAL TO THE ENGINEER FOR REVIEW. SHOP DRAWINGS (APPROVED BY THE ENGINEER) SHALL BE FORWARDED TO THE BUILDING DEPARTMENT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ORTAIN BUILDING DEPARTMENT APPROVAL OF CALCULATIONS AND SHOP DRAWINGS PRIOR TO FABRICATION. APPROVED FINAL TRUSS DRAWINGS SHALL BECOME PART OF CONSTRUCTION DOCUMENTS.
- TRUSS CALCULATIONS, DRAWINGS AND LAYOUT PLANS OF ALL ENGINEERED ROOF TRUSSES MUST BE APPROVED BY THE ENGINEER OF RECORD AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO REQUESTING A ROOF NAILING OR FRAMING
- A. WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH CBC 2016, AND ACCEPTED ENGINEERING PRACTICE.
- WOOD TRUSSES SHALL BE PREFABRICATED BY A MANUFACTURER WITH A MINIMUM OF FIVE YEARS EXPERIENCE PERFORMING SUCH WORK. DESIGN, FABRICATION AND TESTING SHALL COMPLY WITH ASTM STANDARDS.
- THE TRUSS MANUFACTURER SHALL RETAIN A CIVIL ENGINEER LICENSED IN THE STATE OF CALIFORNIA TO DESIGN AND DIRECT THE FABRICATION AND ERECTION OF THE TRUSSES.
- PRIOR TO FABRICATION OF THE TRUSSES, THE FOLLOWING MATERIAL BEARING THE APPROVAL OF THE MANUFACTURER'S ENGINEER MUST BE SUBMITTED TO THE ARCHITECT AND ENGINEER FOR REVIEW:
- SHOP DRAWINGS CLEARLY DELINEATING LAYOUT, BRIDGING REQUIREMENTS, JOIST MEMBER SIZES, GRADE AND SPECIES OF LUMBER, ELEVATION OF PITCHED MEMBERS, CONNECTION DETAILS, BEARING DETAILS PER CBC 2016.
- 8. STRUCTURAL CALCULATIONS STAMPED BY THE MANUFACTURER'S ENGINEER SHOWING MEMBER STRESSES, ANALYSIS AND
- A. WOOD TRUSSES SHALL BE DESIGNED TO WITHSTAND THE FOLLOWING LOADS (IN ADDITION TO ANY LOAD SHOWN ON THE PLANS OR DETAILS):

UNIFORM LOADS - ROOF: DEAD LOAD = 13 PSF LIVE LOAD = 20 PSI CEILING: DEAD LOAD = 6 PSF LIVE LOAD = 10 PSF

B. VERTICAL DEFLECTIONS SHALL BE LIMITED AS FOLLOWS

DEAD + LIVE LOADING: L/360

- C. THE CONTRACTOR SHALL INSTALL ERECTION BRACING PER THE TRUSS MANUFACTURER'S REQUIREMENTS
- D. ALL BLOCKING, STIFFENERS, LATERAL AND DIAGONAL BRACING, CLIPS AND ANCHORS AS DETAILED IN THESE DRAWINGS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. THE TRUSSES SHALL NOT BE MODIFIED, CUT, NOTCHED OR DRILLED EXCEPT AS DETAILED IN THE STRUCTURAL DRAWINGS.
- E. THE CONTRACTOR SHALL COORDINATE ALL PLUMBING, ELECTRICAL, MECHANICAL, FIRE PROTECTION, AND REQUIREMENTS BY OTHER TRADES AND ANY CONFLICTS WITH THE TRUSS REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE
- F. PROVIDE MINIMUM BEARINGS OF 1.5" AT TRUSSES ENDS AND 3.5" AT INTERMEDIATE BEARING SUPPORTS. FASTEN TRUSSES 2-10d NAILS, ONE EACH SIDE, SPACED A MINIMUM OF 1.5" FROM FDG
- G. WOOD TRUSSES CONNECTED WITH METAL PLATE PER ANSI,TPI 1, SECTION 2.2)

### PRESSURE TREATMENT OF WOOD

- ALL LUMBER IN THE FOLLOWING LOCATIONS SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA C-2 WITH A PRESERVATIVE AND RETENTION SUITABLE FOR THE APPLICATION ABOVE THE GROUND
- IN CONTACT WITH ROOFING, FLASHING, WATERPROOFING. IN CONTACT WITH MASONRY OR CONCRETE. WITHIN 18 INCHES OF GRADE. WOOD OR PLYWOOD EXPOSED TO WEATHER WHERE CALLED FOR ON THE DRAWINGS

- 2 ALL LUMBER TO RECEIVE PRESSURE TREATMENT SHALL HAVE A MINIMUM MOISTURE CONTENT OF 19% AFTER PRESSURE TREATMENT. AS AN ALTERNATE, CONTRACTOR MAY USE REDWOOD OF EQUIVALENT STRENGTH PROPERTIES AS WOOD SPECIFIED IN THESE NOTES, AND AN
- AMMONIACAL COPPER QUATERNARY COMPOUND (ACQ) THAT DOES NOT USE ARSENIC OR CHRONIUM MAY BE USED. AMINE & CHLORINE PRESERVATIVES, CHROMATED COPPER ARSENATE (CCA) AND AMMONIACAL COPPER ARSENATE (ACA) SHALL NOT BE USED.
- G AND CUT-OFFS: TREAT PER AWPA STANDARD M-4. FIELD TREAT CUT ENDS AND DRILL HOLES WITH SOLUTION OF COPPER NAP
- 5 FASTENERS: FOR PRESSURE-PRESERVATIVE TREATED WOOD, PROVIDE STEEL FASTENERS WITH HOT-DIPPED ZINC-COATED GALVANIZED REATMENT PER ASTM A153/A153M STAINLESS STEEL SILICON BRONZE COPPER OR SIMPSON'S "Z-MAX" COATING

n any a to pers these user's n Joaquin County from an ury, damage, or loss to p ing out of the use of thes inate or reduce the user' San Jo
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LNO **DWELLING** Devel ∞ಶ **Planning** ACCESSORY DIVISION County, Q Joaquin DING SF 500 m



2. 3"X3"X0.229" PLATE WASHERS SHALL BE USED ON EACH SILL PLATE ANCHOR BOLT

3. FOR STANDARD CUT WASHERS PLACED BETWEEN PLATE WASHER AND NUT, HOLE IN PLATE WASHER MAY BE DIAGONALLY SLOTTED WITH MAXIMUM 3'16" LARGER WIDTH THAN BOLT DIAMETER AND MAXIMUM 1-3/4" SLOT LENGTH

 $\bf 4.$  PROVIDE A MINIMUM OF TWO ANCHOR BOLTS PER SILL PLATE WITH ONE BOLT LOCATED MAXIMUM 12" AND MINIMUM 7 BOLT DIAMETERS FROM EACH END OF EACH SECTION.

5. BOLTS LOCATED IN THE MIDDLE THIRD OF THE SILL PLATE WIDTH

6. FASTENERS FOR PRESSURE-PRESERVATIVE TREATED AND FIRE RETARDANT TREATED WOOD SHALL BE HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL OR COPPER

7. NO LPG PIPING ASSEMBLIES ALLOWED IN OR BENEATH SLABS WITHIN THE STRUCTURE

{\H0.33333x;12"}

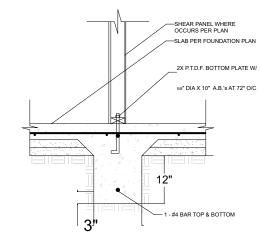
-SHEAR PANEL WHERE OCCURS PER PLAN

2X P.T.D.F. BOTTOM PLATE W/

5/8" DIA X 10" A.B.'s AT 72" O/C

DETAIL 1

(NTS)



{\H0.33333x;12"}

DETAIL 2 (NTS)

	WOOD STRUCTURAL PANEL SHEATHING						
MARK	MARK MINIMUM NAIL S		MINIMUM WOOD STRUCTURAL PANEL SPAN	MINIMUM NOMUNAL PANEL THICKNESS	MAXIMUM WALL STUD SPACING (in)	PANEL NAIL S	SPACING
	SIZE	PENETRATION (in)	RATING	(in)	,	EDGES (inches o/c)	FIELD (inches o/c)
$\Lambda$	6D COMMON	1.5	24:0	3/8	16	6	12
	8D COMMON	1.75	24:16	7/16 "	16	6	12

PATIO BY OTHERS

A \(11.5')

WOOD STRUCTURAL PANELS SHALL CONFORM TO DOC PS 1, DOC PS 2 OR ANSI/APA PRP 210, CSA O437 OR CSA O325. PANELS SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY AN APPROVED AGENCY

VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER AND BE FASTENED TO COMMON STUDS. HORIZONTAL JOINTS IN BRACED WALL PANELS SHALL OCCUR OVER AND BE FASTENED TO COMMON BLOCKING OF A MINIMUM 1 1/2 INCH THICKNESS.

# **LEGEND**



PATIO BY OTHERS

(12.0')\A\

S7 TYF

(B.1)

2

(3)

(4)

(8.5')(A

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**S**1

—ADDITIONAL 2X TRUSS DIRECTLY ABOVE BRACED WALL PANEL

RACED WALL PANEL

BOTTOM PLATE

DETAIL 1 (NTS)

NOTE: GIRDER TRUSS OMITTED FOR CLARITY DRAG TRUSS-PER ROOF FRAMING PLAN TO DRAG TRUSS
/---CS16/RS150 STRA

(NTS)

NH0.33333x;MN 24" LAP} --DOUBLE TOP PLATE

**DETAIL 5** 

A-35/MPA1 AT 24" O/C U.N.O-

OPTION A

(NTS)

HEADER JACK STUDS/ BOTTOM -PLATE

**DETAIL 6** 

(NTS)

FULL HEIGHT-STUDS ADJACENT TO HEADER — SINGLE OR DOUBLE TOP PLATE 1/2" ROOF TRUSS CLIP TRUSS PERPENDICULAR TO FRAMING MEMBER 1/2" TRUSS PARALLEL TO FRAMING MEMBER

SEE SHEET A6 "DETAIL 1" FOR-FIRE RESISTANT EAVE CONSTRUCTION PER ROOF FRAMING PLAN -A-35/MPA1 AT 24" O/C U.N.O WITH 48" MIN LAP DETAIL 1 (NTS) SEE SHEET A6 "DETAIL 1" -FOR FIRE RESISTANT EAVE CONSTRUCTION EDGE NAILING GABLE END TRUSS

**DETAIL 2** 

**DETAIL 3** 

(NTS)

(NTS)

2X TRUSSES PER ROOF FRAMING PLAN

-2X BLKG W/ Z CLIPS @ 24" O/C (TYP)

-2X DOUBLE TOP PLATE WITH 48" MIN LAP

-SHEAR PANEL WHERE OCCURS PER PLAN

WOOD STRUCTURAL PANEL SHEATHING MINIMUM WOOD STRUCTURAL PANEL NAIL SPACING MINIMUM NAIL MAXIMUM WALL STUD MARK PANEL THICKNESS PANEL SPAN SPACING (in) PENETRATION SIZE EDGES (inches o/c) FIELD (inches o/c) 6D 1.5 12 24:0 COMMON 8D 7/16 " 1.75 24:16 16 12 6 COMMON

4x12 HDR

WOOD STRUCTURAL PANELS SHALL CONFORM TO DOC PS 1, DOC PS 2 OR ANSI/APA PRP 210, CSA O437 OR CSA O325 PANELS SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY AN APPROVED AGENCY

(B)

(C)

NOTE: DO NOT INSTALL TRUSSES UNTIL WALLS ARE FULLY SHEATHED

TOP PL. SPLICE STEPPED PER 6/S3, TYP. FULL PERIMETER

VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER AND BE FASTENED TO COMMON STUDS. HORIZONTAL JOINTS IN BRACED WALL PANELS SHALL OCCUR OVER AND BE FASTENED TO COMMON BLOCKING OF A MINIMUM 1 1/2 INCH THICKNESS.

# **LEGEND**

(2)

(3)

BRACED WALL LINE

NOTE: ROOF SHEATHING TO BE 1/2" APA RATED SHEATHING 24:0 AT 6" O/C EDGE NAILING AND 12" O/C FIELD NAILING

# **ROOF FRAMING PLAN/ DETAILS**

COLLECTOR -STRAP CS16 PER. 9/S3

S5 TYP.

(A)

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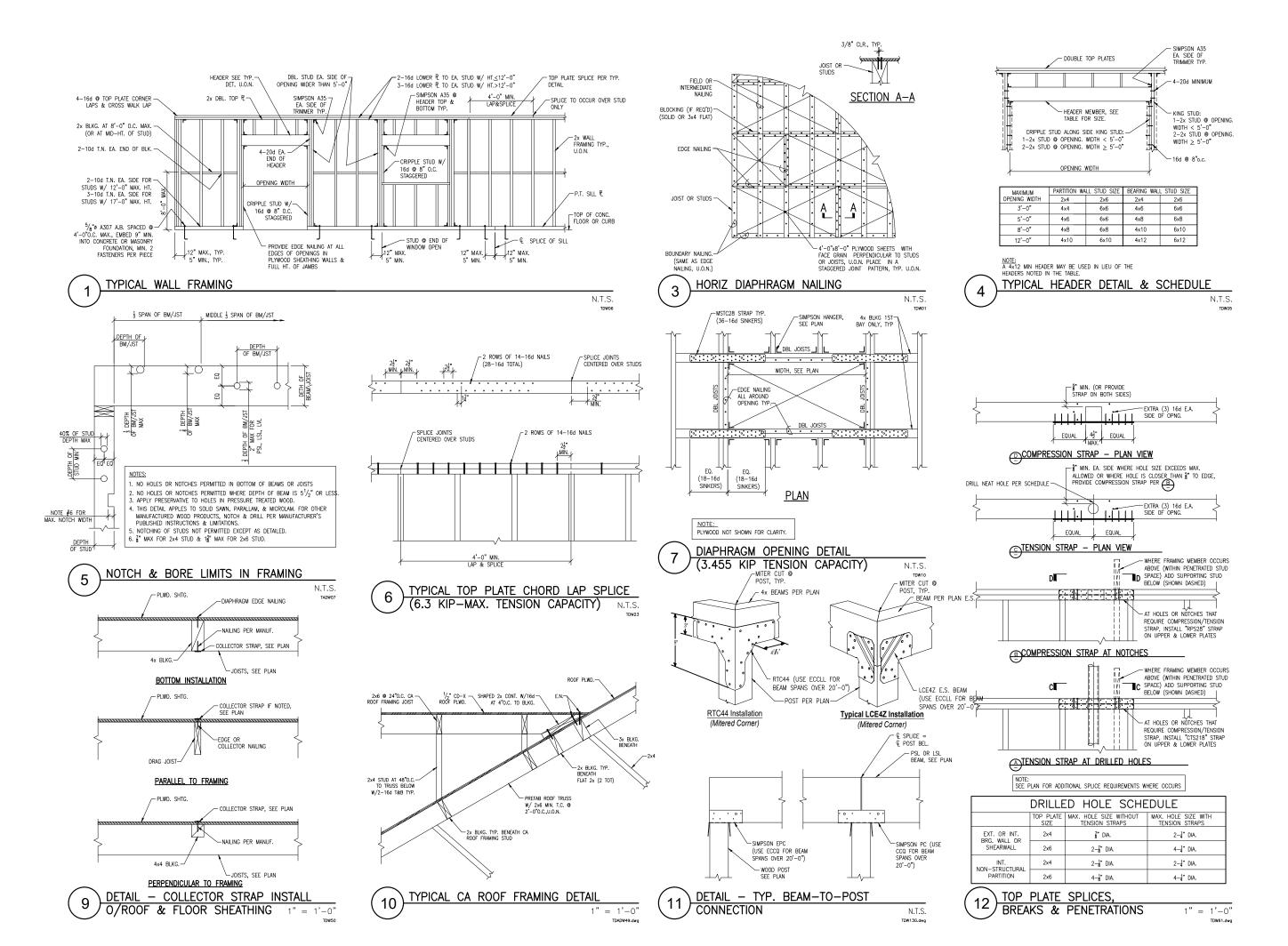


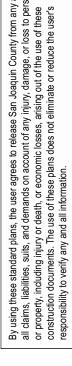












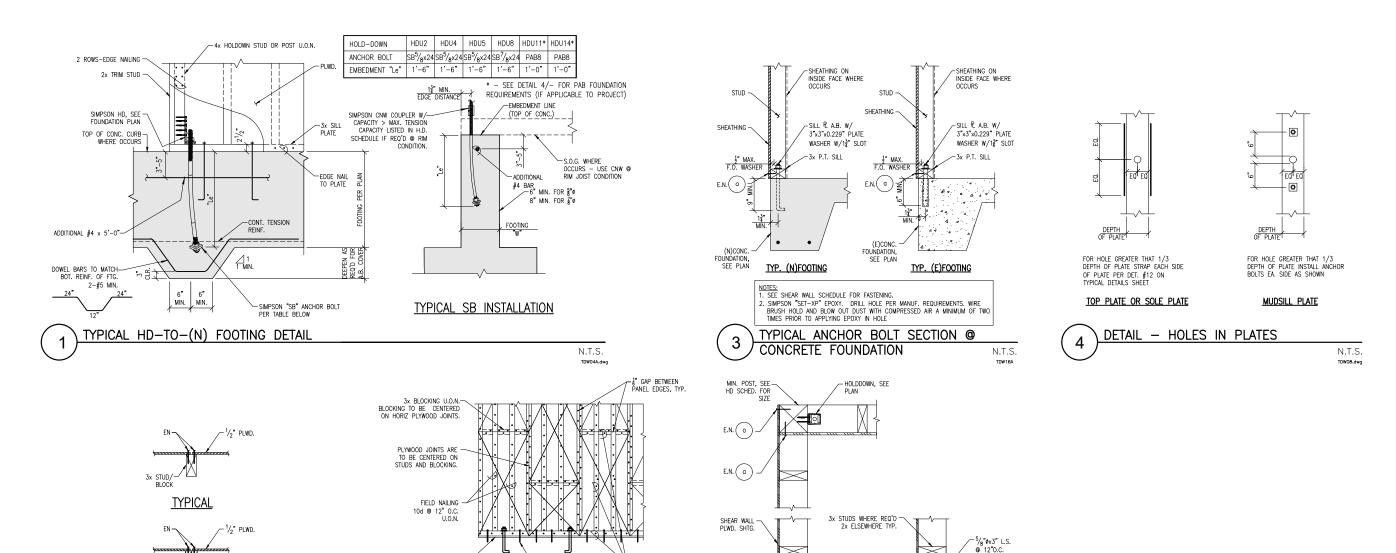


DIVISION

BUILDING







- ANCHOR BOLTS IN SILL
PLATE ON CONCRETE OR
SILL NAILING IN SILL PLATE
ON WOOD FRAMING, SEE
PLANS & S.W. SCHEDULE
FOR SIZE & SPACING

. VERTICAL SPLICE JOINTS SHALL BE STAGGERED WHERE THEY OCCUR. 2. ½" gap typical between panel edges at each floor level. 3. Anchor Bolts Spaced at 4'-0" max u.o.n. see plans and details for size.

TYPICAL SHEARWALL ELEVATION

4. USE 3x STUDS AND BLOCKING WHERE REQUIRED.

PLYWOOD NAILING

EDGE NAILING SPACED PER PLAN

N.T.S.

E.N. a

		Н	OLD	OWN	SCH	ED	ULE	
TYPE	HOLDOWN	ANCHOR	MIN. POST SIZE	"SB" BOLT SIZE (IN)	ANCHOR- AGE TO POST	OFF SET (IN)	EMBED- MENT "Le"	ALLOWABLE LOAD (LBS)
1	HDU2	SB <sup>5</sup> / <sub>8</sub> x24	2-2x**	5/8"	6-SDS 25212	13"	18"	3,075
2	HDU4	SB <sup>5</sup> / <sub>8</sub> x24	4x4	5/8"	10-SDS 25212	1億"	18"	4,565
(3)	HDU5	SB <sup>5</sup> / <sub>8</sub> x24	4x4	5/8"	14-SDS 25212	1층"	18"	5,645
•	HDU8	SB <sup>7</sup> / <sub>8</sub> x24	4x6	7/8"	20-SDS 25212	15"	18"	7,870
(5)	HDU11	PAB8	6x8 OR 4x8	1*	30-SDS 25212	18"	24"	11,175
6	HDU14	PAB8	6x8 OR 4x8	1*	36-SDS 25212	1震"	24"	14,390
NOTE	S:					•		

16d @ 4"O.C..

<u>PLAN</u>

AT INTERSECTIONS & CORNERS

DETAIL - SHEAR WALL CONNECTIONS

- SEE STRUCTURAL NOTES FOR MATERNALS SPECIFICATIONS.

  SEE STRUCTURAL NOTES FOR MATERNALS SPECIFICATIONS.

  SEE STRUCTURAL NOTES FOR MATERNALS SPECIFICATIONS.

  SEE STRUCTURAL NOTES FOR MATERNALS SPECIFICATION SPECIFICATION OF POST.

  NOTIFICATION OF STRUCTURAL SPECIFICATION OF ACCOMMODATE ANCHOR EMBEDMENT.

  MAINIMAN STRUCTURAL SPOSTS ARE REQUESTED AT ALL SPECIFICATION SCHEDULE.

  THE HOLDONN POSTS AND SECRET STRUCTURAL NICHORAGE ROOMED SPECIFICATION SCHEDULE.

  THE HOLDONN POST AND VERTICAL ANCHORAGE ROOMED TO BE LOCATED AS CLOSE TO THE END OF THE SHEAR MALL AS POSSIBLE, POSTS WHICH ARE PROVIDED PRIMARILY FOR HOLDONN POSTS SS MAY NOT SE SPECIFICALLY INDICATED IN THE FRAINCE PLANS.

  COLINTERSINKING OF HOLDONN BOLTS INTO THE POST IS NOT ALLOWED, PROVIDE ADDITIONAL 2x NALLER FREQUIRED TO COVER BOLT HEADS.

  WHERE POSSIBLE, USE VERTICAL LOAD CARRING POSTS SHOWN ON PLANS AS HOLDOWN POSTS.

  \*\*HOLDOWN POSTS FROM MULTIPLE STUDS (SEE SCHEDULE): FACE NAIL MULTIPLE STUDS WITH 2 ROOMS OF 160 6 6 TO.C., FULL HEIGHT, RE-TIGHTEN ALL BOLTS PROR TO SHEARWALL CLOSE—IN

	SHEARWALL SCHEDULE (SHEATHING ONE FACE)						SHEATHING EA. FACE		
Ε	SHEAR WALL DESIGNATION:	(x.x')	B)(x.x')	© <sub>(x,x')</sub>	(D) <sub>(x,x')</sub>	<b>E</b> (x.x')	(x.x')	© <sub>(x.x')</sub>	(H)(x.x')
1	PLYWOOD OR OSB SHEATHING THICKNESS:	1"	<u>‡</u> "	1"	<u>}</u> "	½" STR. 1	J" STR. 1 EACH FACE	½" STR. 1 EACH FACE	₹" STR. 1 EACH FACE
	EDGE NAILING:	10d @ 6"	10d @ 4*	10d @ 3"	10d @ 2*	10d @ 2"	10d @ 4"	10d @ 3"	10d @ 2"
1	3x MEMBERS REQ'D @ PANEL EDGES:	NO NO	YES	YES	YES	YES	YES	YES	YES
_	3x SILL REQUIRED:	NO NO	NO	YES	YES	YES	YES	YES	YES
	FIELD NAILING:	10d @ 12"	10d @ 12"	10d @ 12"	10d @ 12"	10d @ 12"	10d ❷ 12"	10d @ 12"	10d @ 12"
1	SILL CONNECTION:  NAILS (16d NAILS) SCREWS (SDS25600)	@ 6" O.C. @ 12" O.C.	⊕ 5" 0.C. ⊕ 9" 0.C.	9 4" O.C. 9 6" O.C.	⊕ 5" O.C.	⊕ 4" O.C.	9 3* O.C.	(2) <b>®</b> 7 <b>"</b> 0.C.	(2) © 5" O.C.
1	6 WITH 2x SILL WITH 3x SILL	⊕ 36" MAX ⊕ 42" MAX	9 24" MAX 9 30" MAX	0 24" MAX	@ 18" MAX	0 16" MAX	9 12" MAX	@ 10" MAX	@ 9" MAX
	TOP CONNECTION (U.O.N.):  RBC LTP4 LS70 A35	@ 16" MAX @ 24" MAX @ 24" MAX @ 16" MAX	9 12" MAX 9 16" MAX 9 16" MAX 9 16" MAX	<ul> <li>8" MAX</li> <li>12" MAX</li> <li>12" MAX</li> <li>10" MAX</li> </ul>	0 6" MAX 0 8" MAX 0 8" MAX 0 8" MAX	9 6" MAX 9 8" MAX 9 10" MAX 9 8" MAX	@ 6" MAX @ 8" MAX @ 8" MAX @ 12" MAX	 @ 6" MAX @ 6" MAX @ 10" MAX	   @ 8" MAX
	ALLOWABLE SHEAR (PLF):	310	460	600	770	870	920	1200	1540
- 1									

NOT	ES:			
1.	ALL NAILS SHALL BE COMMON OR	GALVANIZED BOX. G	ALV. BOX NAILS SHALL	. BE HOT DIPPED OR
2	PLYWOOD AND OSB SHALL BE TYP	F CD-X GRADE OR B	ETTER (EXCEPT WHERE	STRUCTURAL 1 GRA

-16d @ 4"O.C., TYP.

8

ALI NAILS SHALL BE COMMON OR CALVANIZED BOX. CALV. BOX NAILS SHALL BE HOT DIPPED OR TUMBLED.
PLYWOOD AND OSB SHALL BE TYPE CD-X GRADE OR BETTER (EXCEPT WHERE STRUCTURAL 1 GRADE IS NOTED).
SHARWALLS THAT REQUIRE 3X FRAINING SHALL USE X (MIN), AT PANLE EDCES AND NAILE OSES AND

/WW

ALT.

ALT. SHEAR WALL PANEL EDGE

SPACING

2-2x STUD/-

NOTES:

STUD/BLOCK

5

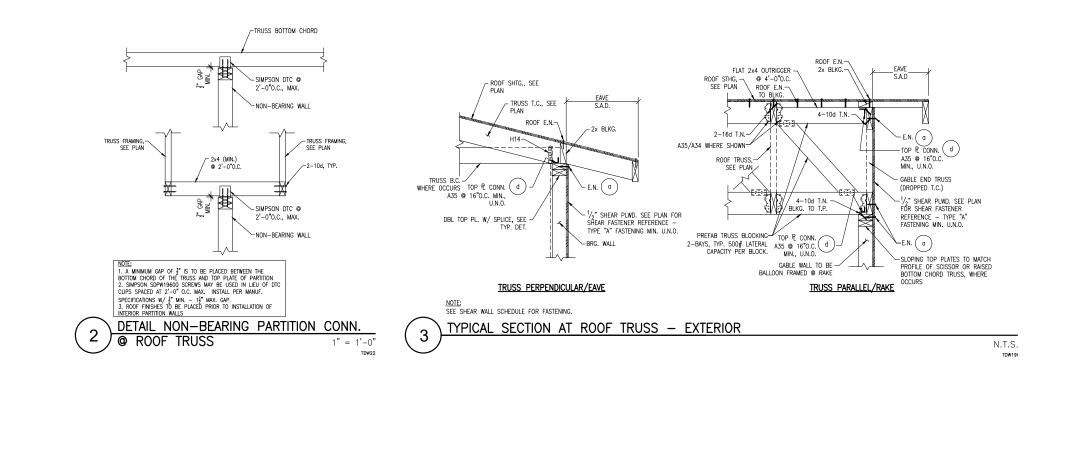
BLOCK

(10)

NOTES:

6

N.T.S.



6

1" = 1'-0"

BLKG. OR RIM EA.— SIDE OF BEAM

4-8d TN OR A34-

CLIP (NOT SHOWN)

(N)POST W/ 4-8d TN OR A34 CLIP

DOUBLE TOP PLATE — CUT FOR BEAM

A34 EA. SIDE -

KING STUD FULL HT, EA. SIDE OF BEAM SHIM AS REQD IF BEAM WIDTH DOES NOT MATCH POST WIDTH

RIM (OR BLOKS @ BEARING

WALL NOT SHOWN)

A34, EA SIDE

BREAK RIM OR BKKG. TO ALLOW FOR BEARING ONFULL WIDTH OF POST

W/ 2-LSTA21 -(N)POST W/ 4-8d TN OR A34 CLIP (NOT SHOWN)

-4-16d EA. SIDE

-4-16d EA. SIDE W/ IN 12" OF BEAM

BEAM IN JOIST SPACE

BEAM THROUGH PLATES

BEAM IN WALL

NOTES:

1. AT BEAM SUPPORTED BY ISOLATED POSTS, PROVIDE EPC OR PC CONNECTIONS FROM POST TO BEAM.

2. AT CONDITIONS WHERE BOTTOM OF BEAM IS > 24" FROM PLATES, BLOCK FROM KING STUD TO ADJACENT STUDS W/ FULL DEPTH BLKG. OR 2×4 T&B OF BEAM.

TYPICAL BEAM OR GIRDER TRUSS
SUPPORT AT WALL

(8)

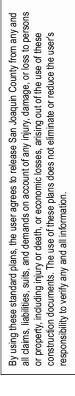
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OAQUIN TIFORM Sheet Number

**S5** 



- 6·6·10 WWF OR #4 @ 12"O.C. E.W.

-4" MIN. CLEAN, FREE DRAINING CRUSHED ROCK

N.T.S.

OR GRAVEL (1/4" TO 3/4" GRADATION)

SOIL SUBGRADE PREPARED PER NOTES
& SOILS REPORT

CONCRETE SLAB

VAPOR BARRIER (15 MIL. IMPERMEABLE AND MEET ASTM E 1745 CLASS A REQUIREMENTS AND BE INSTALLED PER ASTM 1643, U.O.N. IN SOILS REPORT)

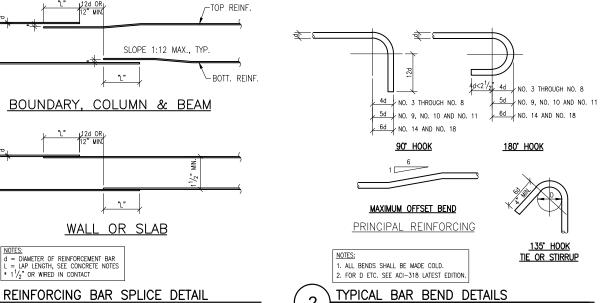
 $\left( 8\right)$ 

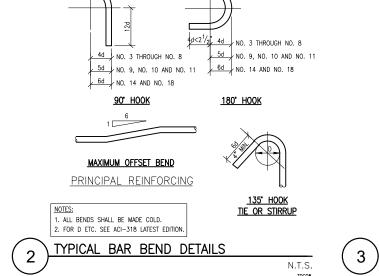
TYPICAL CONCRETE SLAB-ON-GRADE

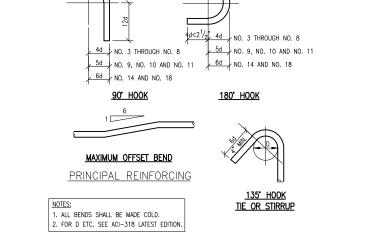
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ALIFORN Sheet Number

**S6** 







	ALL BENDS SHALL BE MADE COLD. FOR D ETC. SEE ACI-318 LATEST ED	ITION.	HE ON SHIMOI
2 1	YPICAL BAR BENI	DETAILS	N.T.S. TDC08

	MAXIMUM OFFSET BEND	**/	
	PRINCIPAL REINFORCING	⊇	
	NOTES:  1. ALL BENDS SHALL BE MADE COLD.  2. FOR D ETC. SEE ACI-318 LATEST EDITION.	135' HOOK TIE OR STIRRUP	
$\widehat{2}$	TYPICAL BAR BEND DI	ETAILS	
رک		N.T.S.	



	F'c	= 2	2500	psi
	#3	9"	6"	6"
	#4	12"	9"	7"
	#5	15"	11"	9"
_				

11"	8"	6"	
14"	10"	8"	NOTE: 1. EMBEDMENT LENGTHS ARE BASED ON ACI 318-
17"	12"	10"	12.5, GR 60 STEEL AND NORMAL WEIGHT AGGREG 2. FOR MODIF 12.5.3 (a) SIDE COVER NOT LESS
20"	14"	11"	THEN 2½", COVER ON EXTENSION OF 90' HOOK LESS THAN 2".
22"	16"	13"	3. FOR MODIF 12.5.3 (b)(c) BARS ENCLOSED IN OR STIRRUPS PERP TO THE BAR SPACED NOT

12.5, OK OU STEEL AND NORMAL WEIGHT AGGILLOAT
<ol><li>FOR MODIF 12.5.3 (a) SIDE COVER NOT LESS</li></ol>
THEN 21/2", COVER ON EXTENSION OF 90" HOOK NO
LESS THAN 2".
3. FOR MODIF 12.5.3 (b)(c) BARS ENCLOSED IN THE OR STIRRUPS PERP TO THE BAR SPACED NOT
OR STIRRUPS PERP TO THE BAR SPACED NOT
GREATER THAN 3db ALONG Idh.

(10)	TENS	ION	LAP	SF	PLICES
	FOR	DEF	ORM	ΞD	BARS

63

72

CLASS B CLASS A
BAR SPLICE (in) SPLICE (in)
SIZE TOP OTHER TOP OTHER
BARS BARS BARS BARS

F'c = 2500psi#3 31 24 24 18

41 32 32 24

	$\overline{}$
1 1	1
\ '	' /
\	_

N.T.S.

51 39 39 30 #5 F'c = 3000psi#3 28 22 22 17 37 29 29 22 47 36 36 28 43 43 33 56

#7

#8

81

93

105 81

#4

 $\left( 6\right)$ 

NOTE:

1. LAP SPLICE LENGTHS ARE BASED ON ACI
318-14 12.2.2, GR. 60 STEEL AND NORMAL
WEIGHT AGGREGATE. CLEAR SPACING OF BARS
BEING DEVELOPED OR SPLICED NOT LESS
THAN 26D AND CLEAR COVER NOT LESS THAN db.
2. CLASS A SPLICES ARE LIMITED TO CASES
WHERE ONE-HALF OR LESS OF THE TOTAL
REINFORCEMENT IS SPLICED WITHIN THE
REQUIRED LAP LENGTH (STAGGERED SPLICE).
FOR WALLS THE SPLICES SHALL ALSO BE
STAGGERED WITH RESPECT TO THE OPPOSITE
CURTAIN.
3. TOP BARS ARE BARS WITH MORE THAN 12"
OF CONCRETE POURED BELOW THE BARS. 63 48 72 55 81 62

LAP SPLICE

#6 #7

#8

#9

25"

18" 14"

#3 9" 6" 6" #4 12" 9" 7"	F'c	= 2	2500	psi
	#3	9"	6"	6"
<i>u</i> = <b>n</b>	#4	12"	9"	7"
#5   15"   11"   9"	#5	15"	11"	9"

#5	15"	11"	9"	
				1
BAR SIZE	BASIC LENGTH Idh	12.5.3 (a) MODIF 0.7 Idh	12.5.3 (a)(b)(c ) MODIF 0.7(0.8) Idh	COLD JNT
F'c	= $$	3000	psi	
#3	8"	6"	6"	
#4	11"	8"	6"	
#5	14"	10"	8"	NOTE:  1. EMBEDMENT LENGTHS ARE BASED ON

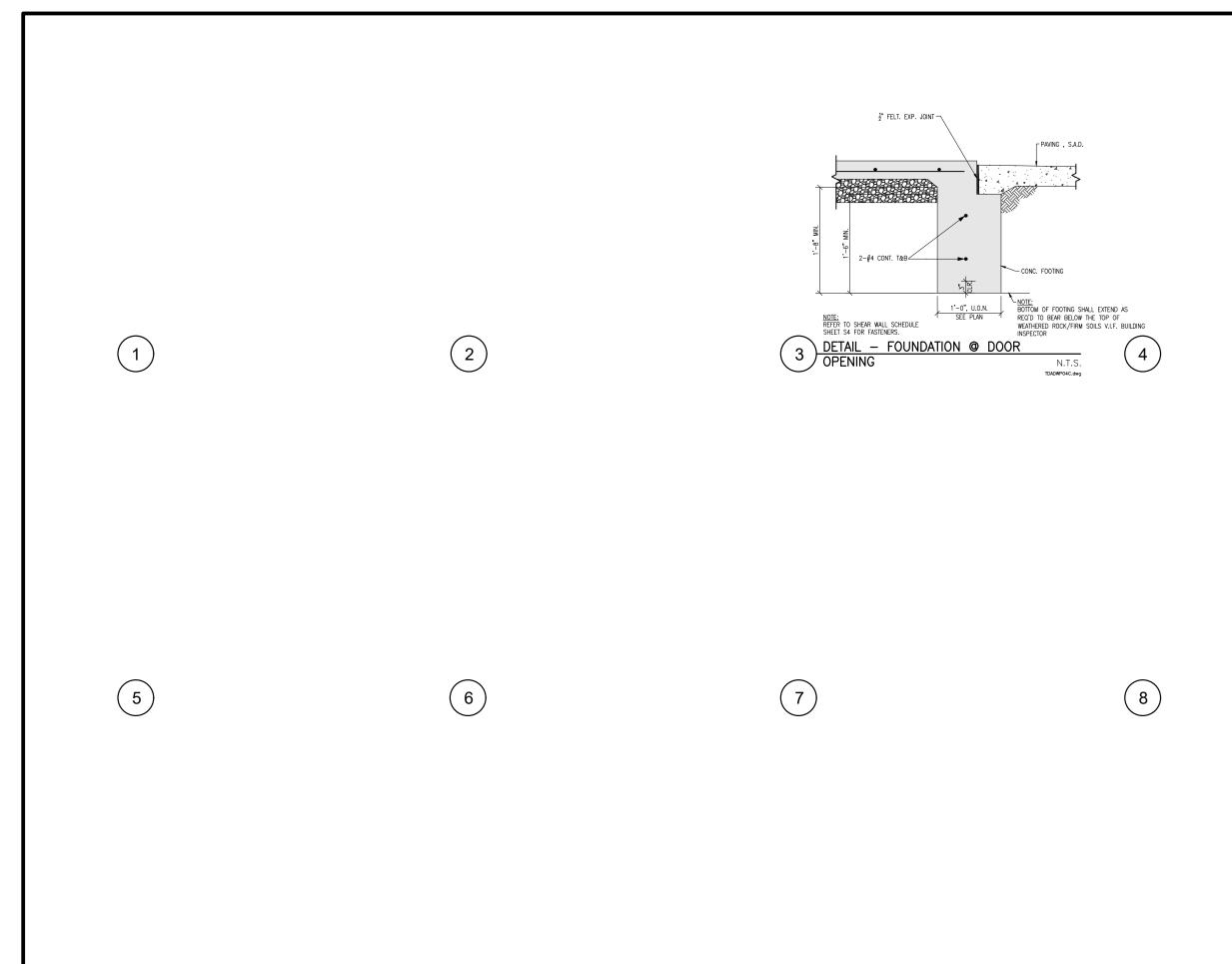
"L"

"L"

N.T.S.

| NOTES: | d = DIAMETER OF REINFORCEMENT BAR | L = LAP LENGTH, SEE CONCRETE NOTES | \* 1 1/2" OR WIRED IN CONTACT

$\overline{\bigcirc}$	TENS	ION [	EVEL	OPMENT		
				HOOKS	1	V.T.S. TDC45



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