

LANDSCAPING, FENCING AND SCREENING MANUAL

SAN JOAQUIN COUNTY

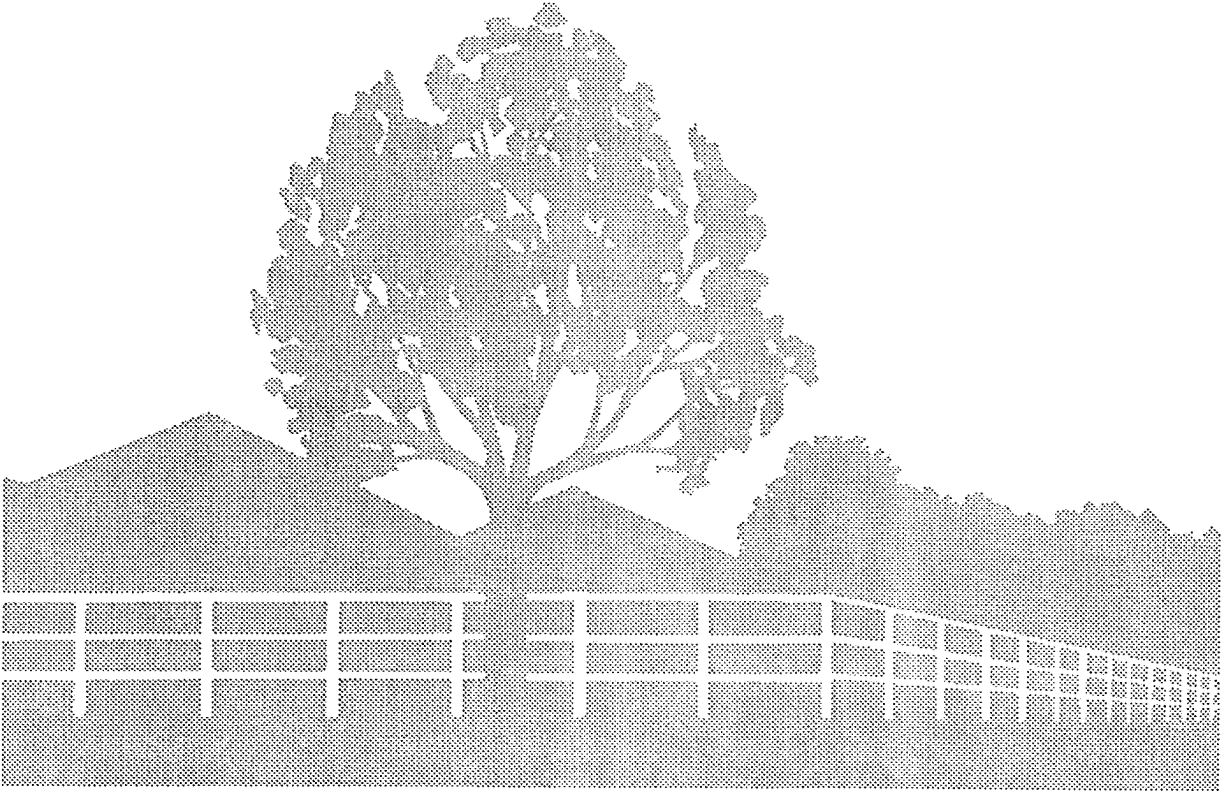


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The purpose of this manual is to specify the landscaping, screening and fencing requirements in San Joaquin County. These requirements are taken from the San Joaquin County Development Title. Please refer to that code for further details.

I. When are these regulations required? Generally the landscaping, screening and fencing requirements are applicable for the following:

- New Commercial and Industrial Projects
- Multi-Family Developments
- Mobile home Parks
- Planned Development and Model homes
- Residential Development

II. General Landscaping Provisions. The following general provisions apply to all new landscaping:

(a) **Composition.**

Landscaping may include natural features such as rock and stone, as well as structural features including, but not limited to, fountains, reflecting pools, and sculptures. Only recirculating water shall be used for decorative water features. Planting shall include the installation and maintenance of at least one item from each of the following groups:

- Group One: Trees;
- Group Two: Shrubs or Vines
- Group Three: Ground Cover, Flowers or Turf.

(b) **Water Efficient Landscaping.**

(1) The planted area shall balance the water demands of different plant species to create an overall landscape which requires a moderate amount of water. For design purposes, planting areas shall be defined as low use, medium use, or high use area. The water value designations of low use, medium use, or high use, shall be determined from a plant list approved by the Director. Water use values reflect the relative water use of each type of planting area. To check a landscape design for compliance, multiply the water use value in the list by its respective planting area; if the sum of the water use factors is less than the design area, the design is acceptable.

(2) Exceptions may be granted for the following areas:

- Homeowner-provided landscaping for single-family and multi-family projects;
- Cemeteries, schools, and parks;
- Registered historical sites;
- Ecological restoration projects, mined-land reclamation projects, and other projects that do not require a permanent irrigation system;
- Areas in need of fire-resistant sections of vegetation; or
- Any area for which the Review Authority authorizes conditional exceptions, unless the standard specifically states that an exception cannot be granted; such exceptions may be granted if the Review Authority finds in writing that the proposed design is in substantial compliance with the

purpose and intent of these regulations.

(c) **Plant Selection.**

- (1) **Stock Quality.** Plants shall be healthy and meet minimum industry standards.
- (2) **Selection.** Native plants, particularly native trees and shrubs, shall be considered as the first alternative when selecting plants.
- (3) **Height Limitations.** Plantings, excluding trees, can't be more than 3' above any street curb in the following locations:
 - Within a 30' snipe of a street intersection without a stop sign or stop light;
 - Within a 50' snipe of a street intersection containing a stop sign or stop light;
 - Within a 15' snipe of a commercial driveway or alleyway;
 - Within a 10' snipe of a residential driveway.
- (4) **Trees.** Use five gallon size plants.
- (5) **Turf Areas.**
 - Turf is not permitted in planted areas 10' or less in width, or in median strips.
 - Under no circumstances shall turf be installed on slopes greater than 20%.
 - Turf is not permitted within 10' of the dripline of native oak trees, except for young trees with driplines of less than 10'.
 - Turf shall be of a variety well suited to the local climate, such as tall fescue.
- (6) **Mulch.** A minimum of 3" of an organic mulch shall be placed in shrub areas on the soil surface after planting. Non-porous materials shall not be placed under the mulch.

(d) **Earth Berms.**

- (1) An earth berm can be included in the required height of any planting, fencing, or wall; and
- (2) Mounds of earth which are used to screen or for planting shall maintain slopes 2:1 or greater.

(e) **Irrigation.**

- (1) Soil types and infiltration rates shall be considered when designing irrigation systems. All irrigation systems shall be designed to avoid runoff, low head drainage, over spray, or similar conditions where water flows onto adjacent property, non-irrigated areas, walks, roadways, or structures.
- (2) No overhead sprinkler irrigation systems (pop-up, impulse sprinklers, rotors) shall be installed in median strips less than 10' wide.
- (3) Rain switches as part of any automatic irrigation system are required.

(f) **Erosion Control.**

- (1) Slopes created through grading during construction shall be (re)planted with ground cover at a maximum of 18" on center or (re)planted with shrubs.
- (2) Slopes shall be restricted to a maximum 2:1 slope ratio.
- (3) Slopes greater than 6' in vertical height shall be planted with ground cover a maximum of 18" on center.
- (4) Erosion shall be controlled on all graded sites which remain vacant prior to building construction.
- (5) Protective netting may be required on an interim basis to ensure bank stability.

(g) **Protective Curbing.**

Protective 6" concrete curbs or standard concrete wheel stops are required where planting or screening abuts parking stalls or driveways.

(h) **Timing of Installation.**

Landscaping and screening, including irrigation systems, must be completely installed prior to the use of the property and the issuance of the Certificate of Occupancy for the new structures.

(i) **Safety.**

- (1) Landscape or screening elements which pose an unusual public health or safety threat are not permitted.
- (2) The height, spread, and growth habit of all plantings shall not interfere with or obstruct movement on the property.
- (3) Street trees, shall be pruned so that no branch extends over the sidewalk lower than 6' above curb level.

(j) **Maintenance.**

- (1) Plantings shall be maintained in good growing conditions and, whenever necessary, replaced with new plant materials.
- (2) Lawn and ground cover shall be trimmed and mowed regularly and planting areas kept free of weeds and debris.
- (3) Plantings shall be fertilized, cultivated, and pruned on a regular basis.
- (4) Plantings shall be appropriately staked, tied, or otherwise supported and supports must be regularly monitored to avoid damage to plants.
- (5) All landscaping and related equipment, such as plant material, screening devices, walkways, benches, fountains, and irrigation systems, shall be maintained or replaced if necessary.

(k) **Native Plants.**

When replacing vegetation, native plants, particularly native trees and shrubs, shall be considered as the first alternative.

(l) **Landscape Plans.**

Landscape Plans, including location, variety, irrigation, and other information necessary to determine compliance with these requirements must be submitted and approved by the Community Development Department. For larger scale projects, these plans may need to be prepared by a Landscape Architect.

III. GENERAL FENCING / SCREENING PROVISIONS. The following general provisions apply to fencing and screening in San Joaquin County.

(a) **Materials.**

- (1) Fencing materials of corrugated plastic, corrugated iron, steel, aluminum, or asbestos, excluding chain link fencing, are specifically prohibited. Unless otherwise specified, barbed wire fence is prohibited.
- (2) Screening materials of corrugated plastic or iron, steel, aluminum, asbestos, wood (excluding wood in combination with masonry), or security chain-link fencing are specifically prohibited. Security chain-link fencing may be permitted for commercial and industrial projects if combined with acceptable to the Review Authority. Unless otherwise specified, barbed wire and slats are not permitted.

(b) **Placement.**

Fences and screens may be constructed along the property line or within the required yard.

(c) **Height Limits in Required Yards.**

- (1) In required front or street side yards, fencing and screening shall not exceed 3' in height, except as otherwise specified.
- (2) In required rear or non-street side yards, fencing and screening shall not exceed 7' in height.

(d) **Height Limits Outside Required Yards.**

The height of fencing and screening outside required yards depends on the property zoning. Community Development Staff can provide you this information.

(e) **Height Measurements.**

- (1) Heights shall be measured above the actual adjoining level of finished grade.
- (2) When there is a difference in the ground level between 2 adjoining lots, the height of any fence or screen installed or constructed along any property line shall be determined by using the higher elevation.
- (3) Any baffle, louver, or wind deflector incorporated into a fence or wall construction Must be included within the measurement of its total height.

(f) **Gates.**

Any gate, other than gates for pedestrian use, shall be set back or recessed a minimum of 10' from the property line unless there are at least 16' between the property line and the edge of the traveled roadway, in which case the setback requirement is waived. For distances less than 16', a proportionate reduction may be granted upon review and approval by the Community Development Department.

(g) **Reduction in Setback for Fences in Developed Areas.**

The minimum required setback to locate a fence over 3' high in a front or exterior side yard may be reduced to the average setback of the applicable yard where more than 50% of the block is developed with fences and upon review and approval by the Community Development Department. All fences used in computing the average existing setback shall be legal, or legal non-conforming, established fences.

(h) **Fences Adjacent to "Restricted" or "Non-Access" Property.**

A fence up to 8' in height may be constructed at the property line when that line is shown as "restricted" or "non-access" on a recorded map, subject to review and approval by the Community Development Department.

(i) **Special Fencing Requirements.**

- (1) **Playing Courts.** The 7' fence height limit may be waived for playing courts, if the playing court is located in a side or rear yard and open type fencing material is used.
- (2) **Swimming Pools.** All pools shall be enclosed per Uniform Building Code, Appendix Chapter 12, Division III.
- (3) **Levees.** Any fence next to a levee shall conform to code. The height of any fence or wall located at the toe of a levee may be increased to eight (8) feet subject to review and approval by the Community Development Department.

(j) **Density.**

When plant materials are used for screening, they shall be planted in such quantity and location as to achieve an effective visual screen within 3 years of installation. If a hedge fails to retain such density any time after this 3 year period, it shall be supplemented or replaced with other dense landscaping or an appropriate fence or wall.

IV. STREET TREES. The planting of trees along streets is required for all new residential developments.

(a) **Spacing.**

Trees shall be spaced at a maximum of 60' intervals or a minimum of one tree per lot frontage, except in the Rural Residential Zone, in which case a minimum of 3 trees are required for each lot frontage.

(b) **Corner Lots.**

For corner lots, street trees shall be required on both street frontages. The trees cannot

interfere with sight distances and setbacks.

(c) **Size.**

Trees must be at least 5 gallons in size.

(d) **Location.**

Trees shall be located such that at fifteen years of age the crown will not encroach across side property lines. Trees must be located a minimum of 10' from driveways. They must also be a minimum of 4' and a maximum of 10' outside of the road right-of-way.

(e) **Street Frontages.**

Street trees are required along street frontages where noise attenuation walls are required. They shall be placed in the yard or integrated with a serpentine wall.

(f) **County Tree List.**

Trees shall be chosen from the County Tree List. See Appendix A.

(g) **Exceptions.**

Exceptions to street tree planting may be permitted on those lots where proper spacing is not possible provided the exceptions are granted by the Community Development Department.

(h) **Maintenance.**

- (1) Trees shall be maintained in good growing condition and, whenever necessary, replaced with new plant materials.
- (2) Tree areas must be kept free of weeds and debris.
- (3) Trees must be fertilized, cultivated, and pruned on a regular bases, and good horticultural principles shall be practiced.
- (4) When necessary, trees must be appropriately staked, tied, or otherwise supported. Supports shall be regularly monitored to avoid damage to trees.

V. LANDSCAPE AND FENCING REQUIREMENTS FOR RESIDENTIAL ZONES.

(a) **Multi-Family Developments.** The following requirements shall apply to developments which result in 5 or more multi-family dwelling units:

- (1) All areas not used for buildings, parking, driveways, recreation facilities, or other permanent facilities must be landscaped.
- (2) Site development shall incorporate the surrounding topography and provide for the preservation of natural features such as water courses, native oaks, heritage trees, wooded areas, and rough terrain.

(b) **Mobile home Parks.** The following requirements shall apply to Mobile home parks:

- (1) All areas not used for buildings, parking, driveways, walkways, recreational facilities, or other permanent facilities must be landscaped.
 - (2) Site development shall incorporate the surrounding topography and provide for the preservation of natural features such as water courses, native oaks, heritage trees, wooded areas, and rough terrain.
- (c) **Planned Developments.** The following requirements shall apply to planned developments:
- (1) There must be at least 2 trees for each dwelling unit, excluding street and erosion control trees;
 - (2) Additional plantings shall be provided, particularly in open space areas, to accent buildings, screen parking areas, and provide variety.
 - (3) A landscaping plan prepared by a licensed landscape architect is required. The landscaping plan shall include the following:
 - (A) A site plan and sections illustrating the proposed location and size of landscape elements such as plantings, structures, walkways, fencing, and screening;
 - (B) Scale drawings and specifications depicting the design, colors, materials, dimensions, structural supports, and electrical components of the proposed plan; and
 - (C) Planting, irrigation, lighting, and grading specifications.
- (d) **Model Homes.** One model home shall demonstrate via signs and information the principles of water efficient landscapes described in this manual.
- (1) Signs shall be used to identify the model as an example of a water efficient landscape which features elements such as hydrozones, irrigation equipment, and others which contribute to the overall water efficient theme.
 - (2) Information and handouts shall be provided about designing, installing, and maintaining water efficient landscapes.
- (e) **Fences in Rural Residential and Very Low Density Zones.**
- An open fence up to 7' in height may be permitted in any required yard in areas carrying a Rural Residential or Very Low Density Residential Zoning designation.
- (f) **Fences in Other Residential Zones.**
- A fence up to 7' in height may be permitted in the front yard or street side yard of Low Density, Medium Density, Medium-High Density, and High Density Residential Zones, provided said fence is located a minimum of 10' from the property line.

VI. LANDSCAPE, FENCING AND SCREENING REQUIREMENTS FOR COMMERCIAL ZONES.

(a) **Landscaping Requirements.**

All areas not used for buildings, parking, driveways, walkways, or other permanent facilities shall be landscaped. A minimum 10' wide planting strip shall be required along adjacent streets. The strip shall be continuous except where crossed by driveways and walkways.

(b) **Fencing of Front Yards.**

A fence up to 7' in height is permitted in the required front yard, provided such fencing is constructed of woven wire, wrought iron, or similar open material, and does not obstruct vehicular site distances.

(c) **Security Fencing.**

Except for fencing adjacent to planned or existing residential areas, barbed wire security fencing, not more than 2' in height, can be erected on top of required or permitted fencing at the discretion of the Community Development Department.

(d) **Screening Adjoining Residential Areas.**

If a commercial project abuts a residential zone, an area shown on the General Plan for residential use, or an existing residential use, a solid masonry wall 6' to 7' in height shall be erected along the abutting property line.

(e) **Screening of Storage Area.**

All storage materials and related activities shall be screened so as not to be visible from adjacent properties and public rights-of-way. Screening shall be 6' to 7' in height. Outside storage is not permitted in front yards, street side yards, or in front of main buildings.

(f) **Screening of Roof Equipment.**

All roof-mounted mechanical equipment, tanks, ventilating fans, or similar equipment shall be visually screened from view from adjacent properties and public rights-of-way at grade. Required screens shall be architecturally compatible with the building or structure on which they occur and conform to the Uniform Mechanical Code's requirements for working clearance.

(g) **Trash Enclosures.** Trash bins shall be kept in an enclosure with solid masonry walls or similar screening on 3 sides and gated on the 4th side.

VII. LANDSCAPING, FENCING AND SCREENING REQUIREMENTS FOR INDUSTRIAL ZONES.

(a) **Landscaping Requirements.**

All areas not used for buildings, parking, driveways, walkways, approved outdoor storage areas, or other permanent facilities shall be landscaped. At a minimum, a 10' wide planting strip is required along adjacent streets. The strip shall be continuous except where crossed by driveways and walkways.

(b) **Fencing of Front Yards.**

A fence up to 7' in height is permitted in the required front yard, provided such fencing is constructed of woven wire, wrought iron, or similar transparent material, and does not obstruct vehicular sight distances.

(c) **Security Fencing.**

Barbed wire security fencing, not more than 2' in height, may be erected on top of required or permitted fencing, except for fencing adjacent to planned or existing residential zones.

(d) **Screening Adjoining Residential Areas.**

If an industrial project abuts a residential zone, an area shown on the General Plan for residential use, or an existing residential use, a solid masonry wall between 6' minimum and 8' maximum in height must be erected along the abutting property line.

(e) **Screening of Storage Areas.**

(1) All storage materials and related activities shall be enclosed by a screen 6' to 8' in height. Items stored within 100' of a dedicated street or residential zone shall not be stacked higher than 2' above the adjacent screen;

(2) Storage areas between adjoining side or rear industrial property does need to be screened, provided the storage area is not adjacent to a residential area or a public street.

(3) All exterior electrical cage enclosures and storage tanks shall be screened from view from access or adjacent streets and residential neighborhoods.

(f) **Trash Enclosures.** Trash bins shall be kept in an enclosure with solid masonry walls or similar screening on 3 sides and gated on the 4th side.

(g) **Screening of Roof Equipment.**

Except in the General Industrial Zone, all roof-mounted mechanical equipment, tanks, ventilating fans, or similar equipment shall be visually screened from view from adjacent properties and public rights-of-way. Screening shall be architecturally compatible with the building or structure on which they occur and conform to the Uniform Mechanical Code's requirement for working clearance.

(h) **Exceptions to Height Requirements.**

The requirements shall not apply to uses permitted in any industrial zone which are required to maintain visual screens to a height greater than specified.

VIII. LANDSCAPE AND SCREENING REQUIREMENTS FOR PARKING AREAS. The following requirements shall apply to all open, off-street parking areas and off-street loading areas, including non-residential driveways:

(a) **Landscape Requirement.**

Parking areas with more than 20 stalls shall provide a minimum of 5% of landscaping within the perimeter of the parking area, not including landscaping along the street

frontage.

(b) **Trees.**

One tree is required for each 5 parking stalls, or portion thereof, and shall be evenly spaced throughout the parking lot.

(c) **Landscape Strip.**

A 10' wide landscaped strip shall be installed between parking areas and adjacent public streets.

(d) **Planters.**

Planters which abut parking stalls shall be a minimum of 5' wide. A minimum 18" wide paved strip shall be added to the adjacent parking stall to allow access to and from vehicles.

(e) **Screening.**

Parking areas abutting a residential zone, an area shown on the General Plan for residential use, or an existing residential use, must be screened with a solid masonry wall 6' to 7' in height along the abutting property line, and a 5' planting strip shall be installed adjacent to the wall and the parking area.

IX. SPECIAL FENCING REQUIREMENTS - AG ZONE. The following provisions shall apply to fences in agricultural zones:

(a) **Height Limitation.**

An open fence up to 7' in height may be permitted in any required yard in areas carrying an agricultural zoning designation.

(b) **Large Parcel Exception.**

An open fence 8' in height may be permitted in any side yard or rear yard for parcels 20 acres or greater in size in areas zoned for agriculture.

(c) **Barbed Wire.**

Barbed wire fencing, not to exceed 2' in height, may be erected on top of permitted fencing.

X. REQUIREMENTS FOR FREEWAYS AND SCENIC ROUTES.

For commercial and industrial projects, a minimum 10' wide planting strip is required along all interstate highways, State Route 99, all on and off-ramps thereof, and all scenic routes designated in the General Plan.

XI. NOISE ATTENUATION WALLS.

Walls, fences, berms, and/or landscaping for the purpose of noise attenuation may be required in any zone when adjacent to a high noise generator such as a major roadway or railroad. Noise attenuation requirements shall be developed in response to the noise level and source affecting specific property. Where noise attenuation walls are required, height and yard restrictions for walls may be waived by the Community Development Department as required for effective noise reduction.

**APPENDIX A
APPROVED TREE LIST**

SAN JOAQUIN COUNTY APPROVED TREE LIST

The following tree list is to be used to determine appropriate types of trees for street trees and parking lot shade trees (including those appropriate for tree wells):

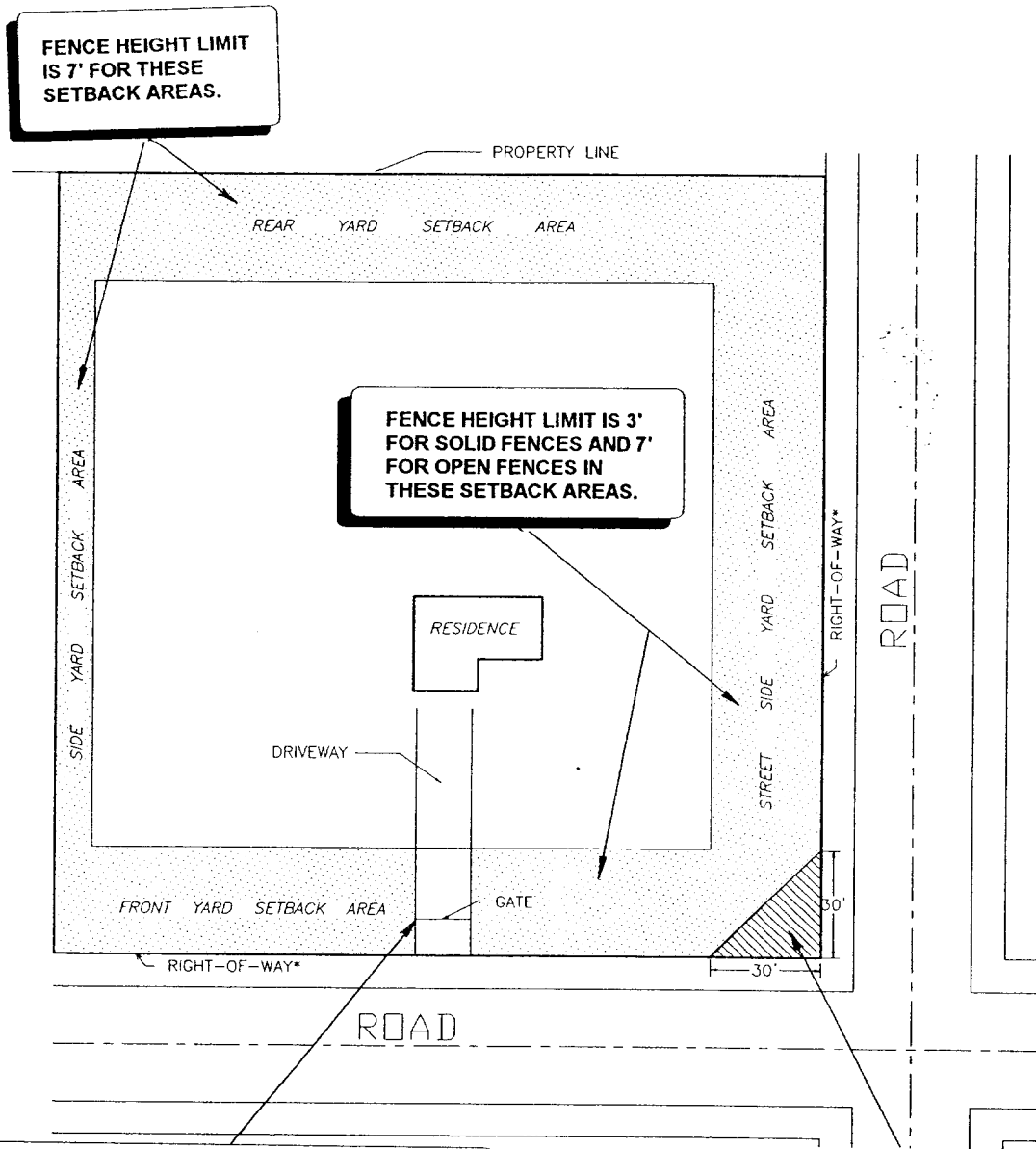
SCIENTIFIC NAME	COMMON NAME	COMMENTS
<i>Celtis sinensis</i>	Chinese Hackberry	Deep rooted, stand wind, few pests, good for planter wells
<i>Ceratonia siliqua</i>	Carob Tree	Round shape, slow grower, drought tolerant, needs room for roots
<i>Fraxinus holotricha</i>	Moraine Ash	Upright, narrow growth
<i>Fraxinus oxycarpa</i>	Raywood Ash	Drought tolerant, compact, lacy, good for planter wells
<i>Geijera parvifolia</i>	Australian Willow	Drought resistant, limited shade value, good for planter wells
<i>Ilex altaclarensis</i>	Wilson Holly	Large shrub: can be trained as tree, weather and drought tolerant
<i>Lagerstroemia indica</i>	Crepe Myrtle	Smaller, attractive tree, drought resistant, good for planter wells
<i>Laurus nobilis</i>	Sweetbay	Compact, slow grower, needs good drainage, good for planter wells
<i>Liquidamber styraciflua</i>	Sweetgum	Upright, fall foliage, stake well
<i>Liriodendron tulipifera</i>	Tulip Tree	Moderate growth and size, spring bloom
<i>Magnolia grandiflora</i>	Magnolia	Slow growing, large, St. Mary's variety, good for planter wells
<i>Pistacia chinensis</i>	Chinese Pistache	Moderate growth, broad, drought tolerant, pest free
<i>Prunus blireiana</i>	Purple-leaf Plum	Slow growing, aphids, good for planter wells
<i>Quercus ilex</i>	Holly Oak	Moderate size and growth, good for planter wells
<i>Quercus suber</i>	Cork Oak	Somewhat larger, unique tree bark
<i>Tilia cordata</i>	Little-Leaf Linden	Dense, good shape, needs lots of water

SECONDARY LIST

SCIENTIFIC NAME	COMMON NAME	COMMENTS
<i>Alnus cordata</i>	Italian Alder	Upright, fast growing, invasive roots
<i>Cinnamomum camphora</i>	Camphor Tree	Surface roots, slow growing, drought tolerant
<i>Fraxinus uhdei</i>	Shamel Ash	Fast growing
<i>Ginkgo biloba</i> "Saratoga"	Maidenhair Tree	Slow growing, good color, pest and drought tolerant
<i>Koelreuteria paniculata</i>	Goldenrain Tree	Moderate growth, lots of water when young, limited shade value
<i>Ligustrum japonicum</i>	Japanese Privet	Good for hedges, screens; needs trimming; good for planter wells
<i>Maytenus boaria</i>	Mayten Tree	Choice lawn tree, similar to Weeping Willow but less messy, good for planter wells
<i>Pyrus calleryana</i>	Ornamental Pear	Early bloomer, small but good shade tree, good for planter wells

APPENDIX B
TYPICAL FENCE / SCREENING REGULATIONS

TYPICAL FENCE REGULATION DETAILS
 AGRICULTURAL and RESIDENTIAL ZONES (A-G, A-L, A-U, R-R & R-VL)
FENCE REGULATION DETAILS



DRIVEWAY GATES MUST BE SETBACK 10' OR BE 16' FROM THE ROAD PAVEMENT.

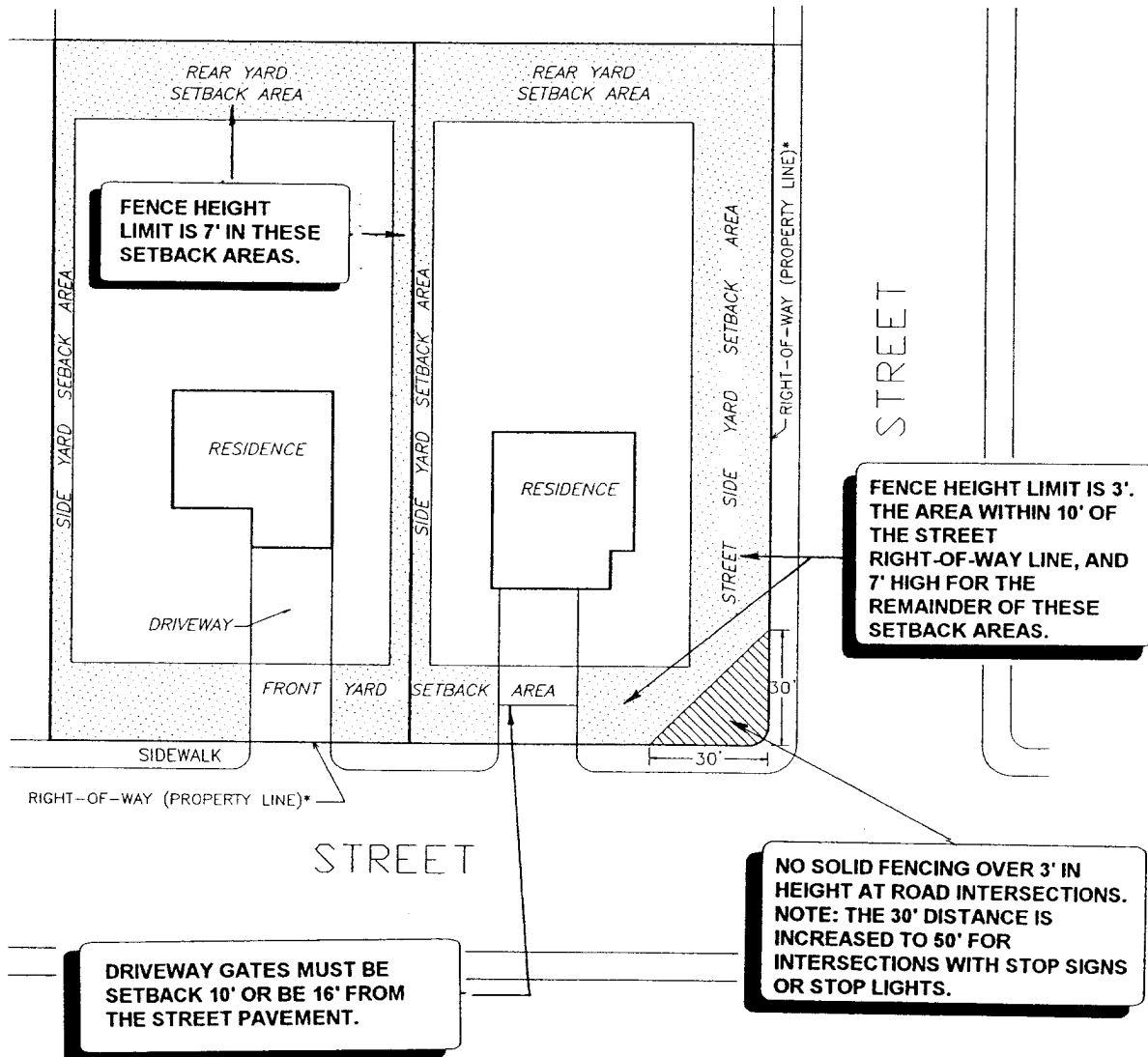
NO SOLID FENCING OVER 3' IN HEIGHT AT ROAD INTERSECTIONS. NOTE; THE 30' DISTANCE IS INCREASED TO 50' FOR INTERSECTIONS WITH STOP SIGNS OR STOP LIGHTS.

**PRIVATE FENCES ARE NOT ALLOWED IN THE ROAD RIGHT OF WAY (R.O.W.). IT IS THE PROPERTY OWNERS RESPONSIBILITY TO DETERMINE THE LOCATION OF PROPERTY AND RIGHT OF WAY LINES.*

TYPICAL FENCE REGULATION DETAILS

RESIDENTIAL ZONES (R-L, R-M, R-MH & R-H)

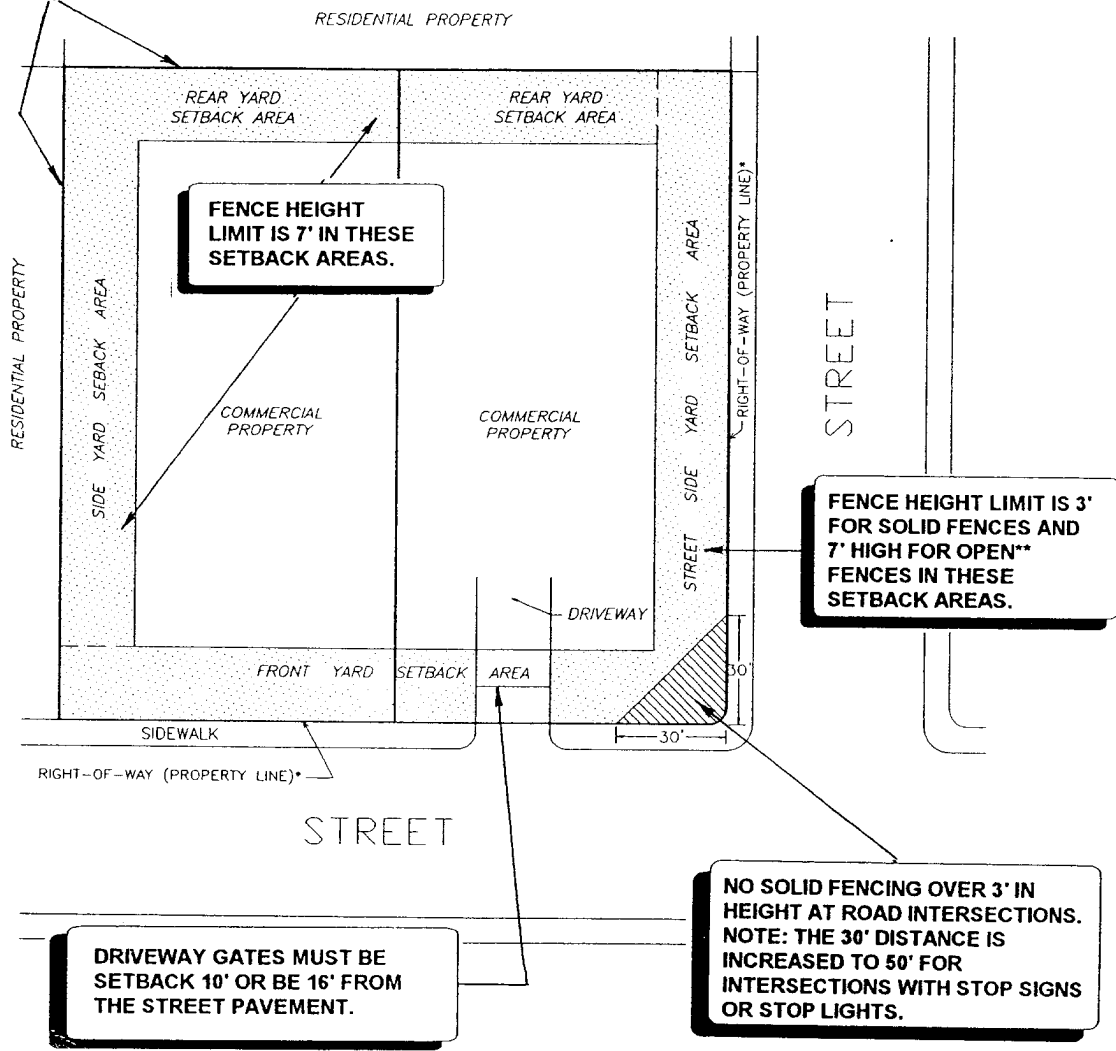
FENCE REGULATION DETAILS



*PRIVATE FENCES ARE NOT ALLOWED IN THE ROAD RIGHT OF WAY (R.O.W.). IT IS THE PROPERTY OWNERS RESPONSIBILITY TO DETERMINE THE LOCATION OF PROPERTY AND RIGHT OF WAY LINES.

TYPICAL FENCE REGULATION DETAILS
 COMMERCIAL ZONES (C-L, C-N, C-C, C-O, C-G, C-FS, C-RS, C-X & C-R)
 FENCE REGULATION DETAILS

A SOLID 6' TO 7' MASONRY FENCE IS REQUIRED FOR NEW COMMERCIAL PROJECTS ADJACENT TO RESIDENTIAL PROPERTY.



*PRIVATE FENCES ARE NOT ALLOWED IN THE ROAD RIGHT OF WAY (R.O.W.). IT IS THE PROPERTY OWNERS RESPONSIBILITY TO DETERMINE THE LOCATION OF PROPERTY AND RIGHT OF WAY LINES.

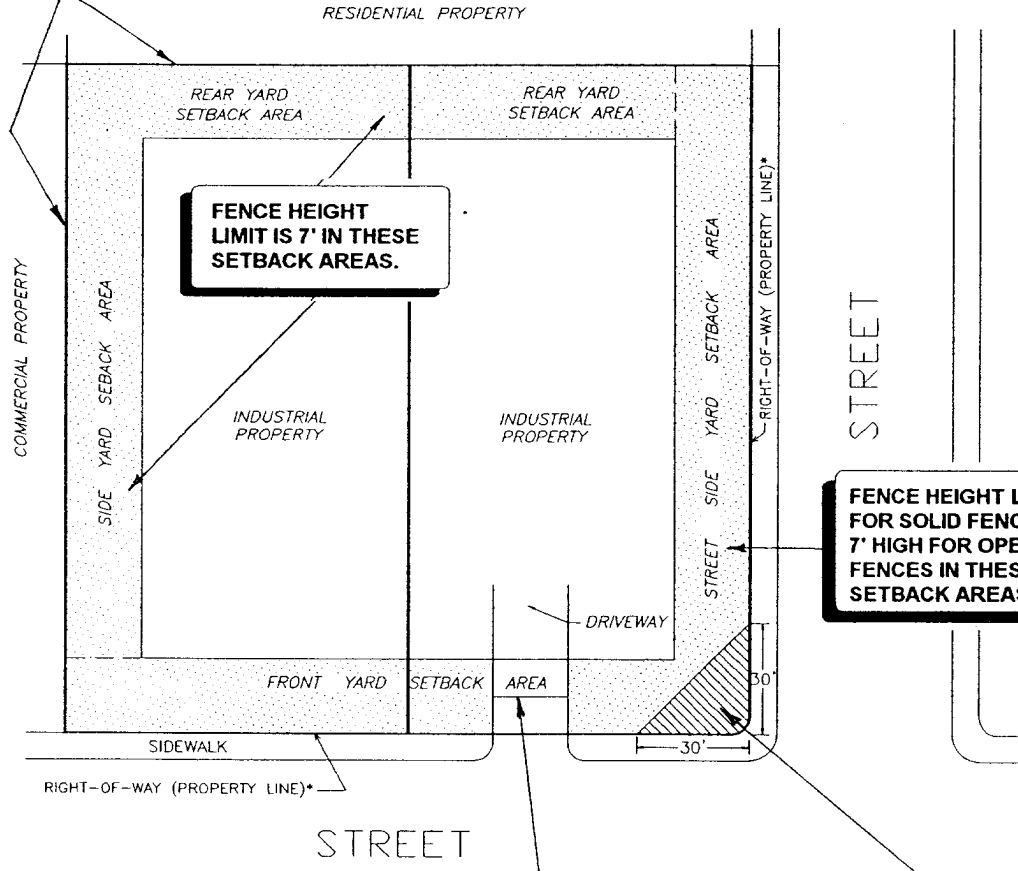
**OPEN FENCES ARE CONSTRUCTED OF WOVEN WIRE, WROUGHT IRON OR SIMILAR MATERIAL AND DOES NOT OBSTRUCT VEHICULAR SITE DISTANCES.

TYPICAL FENCE REGULATION DETAILS

INDUSTRIAL ZONES (I-W, I-P, I-L, I-G & I-T)

FENCE REGULATION DETAILS

A SOLID 6' TO 8' MASONRY FENCE IS REQUIRED FOR NEW COMMERCIAL PROJECTS ADJACENT TO COMMERCIAL OR RESIDENTIAL PROPERTY.



FENCE HEIGHT LIMIT IS 7' IN THESE SETBACK AREAS.

FENCE HEIGHT LIMIT IS 3' FOR SOLID FENCES AND 7' HIGH FOR OPEN FENCES IN THESE SETBACK AREAS.**

DRIVEWAY GATES MUST BE SETBACK 10' OR BE 16' FROM THE STREET PAVEMENT.

NO SOLID FENCING OVER 3' IN HEIGHT AT ROAD INTERSECTIONS. NOTE: THE 30' DISTANCE IS INCREASED TO 50' FOR INTERSECTIONS WITH STOP SIGNS OR STOP LIGHTS.

**PRIVATE FENCES ARE NOT ALLOWED IN THE ROAD RIGHT OF WAY (R.O.W.). IT IS THE PROPERTY OWNERS RESPONSIBILITY TO DETERMINE THE LOCATION OF PROPERTY AND RIGHT OF WAY LINES.*

***OPEN FENCES ARE CONSTRUCTED OF WOVEN WIRE, WROUGHT IRON OR SIMILAR MATERIAL AND DOES NOT OBSTRUCT VEHICULAR SITE DISTANCES.*